



424 N. Sappington Road Glendale, Missouri 63122 (314) 965-3600 fax (314) 965-4772

APPLICATION FOR ARCHITECTURAL REVIEW BOARD

APPLICATION DATE 2/14/25 DATE OF ARB MEETING 3/12/25 ESTIMATED COST \$600k

PROJECT ADDRESS 6 Highland Place GLENDALE, MO 63122

NAME OF PROPERTY OWNER Dale Messey PHONE NUMBER (314) 608-1734

CONTRACTOR (NAME) Self-Managed PHONE NUMBER

CONTRACTOR ADDRESS

ARCHITECT (NAME) Blaes Architects PHONE NUMBER (314) 968-9202

ARCHITECT ADDRESS 643 Glen Rd, Webster Groves, MO 63119

DETAILED DESCRIPTION OF WORK BEING PROPOSED: Complete basement replacement with deeper pour and 8' shift to East, one-story addition to the back of the house covering roughly the deck area.

FLOOR AREA RATIO 0.27 (FAR = Gross Floor Area divided by total area of lot. Gross Floor Area includes all areas provided with heat and/or air conditioning. Includes all conditioned half stories with ceiling heights of more than 5 feet. All living space with ceiling heights of sixteen (16) feet or greater shall be counted at 200%. Attached garages shall be counted at 50%. Exclude any finished or unfinished basement, a detached garage, and any unenclosed porch).

TOTAL FLOOR AREA OF NEW CONSTRUCTION (SQ. FT.) 1300

TOTAL FLOOR AREA OF EXISTING STRUCTURE (SQ. FT.) 2655

TOTAL SQ. FT. OF LOT 15,400 WIDTH AND DEPTH OF LOT (FT.) 110 x 140

HEIGHT OF STRUCTURE 23' NUMBER OF STORIES 1.5

ESTIMATED COMMENCE DATE 5/30/25 EST. COMPLETION DATE 5/30/26

Each application shall be accompanied with payment of a fee as follows:

- Addition or Accessory Structure: \$150.00
New Home: \$200.00

(SEE REVERSE SIDE FOR APPLICATION CHECKLIST)

Applications **must include 7 copies of all the following items (11x17 size paper is acceptable). Electronic PDF copies must also be submitted, either by email to permits@glendalemo.org or on a USB Flash Drive. Packets are due no later than 5:00 p.m. 20 days prior to the scheduled ARB meeting. Please check each item included. The complete ARB Guidelines [may be viewed on the City's website.](#)**

Applications for additions to existing homes must include the following content unless specific requirements are shown by the applicant to be not applicable to the proposed project and are modified or waived by the City Administrator.

1. **Existing Conditions Site Survey.** Show all site conditions, paved areas, trees and landscaping, and servicing utilities on the subject property. Note the first-floor elevation of existing buildings. 1" = 20" minimum scale.
2. **Site Demolition Plan.** This may be incorporated into the Existing Conditions Plan, if the drawing is presented legibly. 1" = 20" minimum scale.
3. **Proposed Site Plan -- Geometrics.** 1" = 10' minimum scale. Show all:
 - Site improvements, existing-to-remain and proposed. Include buildings, walls, retaining walls, patios, pavement, walks and ground-based equipment. Provide key setting out dimensions. Dimension proposed buildings and structures to the property line. Label materials for paving/walks.
 - Adjacent neighbor properties to each side and rear of the subject property. Include the full site for side adjoining parcels. Show rear adjoining parcels to the extent of building facades on the rear neighbor's lot. Adjoining property geometrics do not need to be surveyed and can be created using St. Louis County GIS data or online mapping tools.
 - Property boundaries, setbacks, easements, and right-of-way lines.
 - Proposed site servicing utility lines and physical utility items.
 - Existing and proposed trees
4. **Proposed Site Plan – Grading and Drainage.** May be presented as a separate plan or combined with above, provided that geometrics graphics are used as background. 1" = 10' minimum scale. Show all:
 - Existing and proposed contours with 1' contour interval.
 - Downspout locations serving roof areas of the proposed buildings. Show how downspout drainage flow is collected and piped/conveyed to discharge points. Include over-land drainage discharge patterns, drainage swales, detention basins, and flow direction. Coordinate with the architectural plans and elevations.
 - Drainage detention structures and their overflow discharge points. Show all piping into drainage detention structures.
 - Erosion control measures and tree protection barriers.
 - Drainage differential discharge calculations showing the engineered basis of pre- and post-development stormwater flow off of the site. No development shall result in an increase of stormwater discharge volume from the site.
5. **Architectural Floor Plan.** 1/4" = 1' minimum scale. Show all levels, including finished/unfinished basements and detached structures. Fully dimension and indicate functions for all rooms. Include a roof plan accurately showing geometry, slopes, gutters and downspouts and coordinate with Site Grading and Drainage Plan. Limit size reductions to not more than 50%.

6. **Pervious and Impervious Area Coverage Plan.** Illustrate all impervious improvements and diagram the impervious areas in comparison to pervious areas. Indicate types of site area coverage by shading and/or patterns with a legend of materials. Measure and show in a schedule areas of each type of coverage. Provide calculations of pervious and impervious areas and the ratio of impervious coverage.
7. **Landscape Plan.** 1/8" = 1' minimum scale. Use the Site Geometric Plan as background. The landscape planting plan should include:
- Current information from the site development plan, including existing/proposed grades and all buildings/structures.
 - Location of all lot lines, building setbacks, and easements as depicted on the site development plan.
 - Graphic legend depicting existing vegetation and proposed conditions.
 - Location of all improvements (walks, patios, driveways, retaining walls, etc.)
 - Location of all existing and proposed utilities and sewers.
 - Graphic depiction of all existing trees, including location, types and caliper inch.
 - Graphic depiction of the accurate drip line canopy showing the critical root zone.
 - Tabulation of all existing trees to be saved, removed or impacted.
 - Graphic depiction, plant schedule and planting details of all proposed trees, landscape plantings, shrubs, lawn areas, and groundcovers. Botanical and common names should be listed on plans.
 - Graphic depiction indicating limits of ground disturbance and all associated areas of lawn to be seeded or sodded upon project completion.
8. **Arborist Report.** The arborist report should include Tree Protection Plan (TPP) with the following information:
- Project title or name, owner name, and firm name or individual who prepared the plan.
 - Scaled based plan using the site development plan depicting line of disturbance, existing/proposed grades, location of all improvements, existing/proposed utilities and sewers.
 - Graphic depiction of all existing trees to remain and to be removed including location, types and Diameter Breast Height (DBH) size of 6" or greater.
 - Graphic depiction of the accurate drip line canopy showing the extent of the Critical Root Zones and Structural Root Zones.
 - Graphic depiction of proposed Tree Protection Zones and tree protection fencing.
 - Identification of any areas of invasive plants recommended for removal.
 - Tree Report Summary with the common and scientific name of the tree and the DBH at 4.5' above grade; comments on the vitality, structure and form of the tree; tree number (to correspond with the TPP); assessment of value/significance and recommended action to be taken; and reason for proposing removal or trimming of the tree.
9. **FAR Illustration Plan.** 1/8" = 1' minimum scale. Present a diagrammatic illustration of the plan areas as measured in CAD-based takeoff or as calculated by dimensions. Note the measured or calculated area of each floor plan level, show the boundary of each measured area graphically, and indicate how each area is assessed for FAR. Account for all floor areas and classify (i.e. conditioned space, enclosed porches, attached or detached garage, two-story living space, etc.).
10. **Color Photos of Adjoining Properties.** Color photos of existing and neighboring properties. Include rear yard and neighboring rear yards.

- 11. **Aerial Photo Plan.** Submit an illustration compositing the proposed development with buildings shaded black and pavements shaded grey, superimposed to scale onto an aerial photo image showing the project Street in its entirety.
- 12. **Composite Street Elevation.** ¼" = 1' minimum scale. Provide a colored elevation of the street façade superimposed on a photographic montage showing the adjoining neighbors to each side of the property. The exhibit must accurately depict the proposed design and the first-floor level in relation to the neighboring houses.
- 13. **Building Elevations.** Minimum ¼" = 1' scale. Reduced size exhibits limited to not more than 50 percent. Provide building elevations of all principal facades and detached structures with building materials noted. Accurately show the line of grade, as defined in the ARB guidelines, and coordinate with the Grading Plan. Note basements as a Story Below Grade or a Building Story, and show the roof height on each elevation, as defined in the ARB guidelines.
- 14. **Colored Illustration.** Provide a 3-dimensional rendering or a colored building elevation of the principal street façade. For additions, illustrate the most prominent façade whether side or rear.
- 15. **Materials and Samples.** Applicants are required to bring physical samples of the building materials to the ARB meeting.

Dale Messey

2/14/25

SIGNATURE OF APPLICANT

DATE



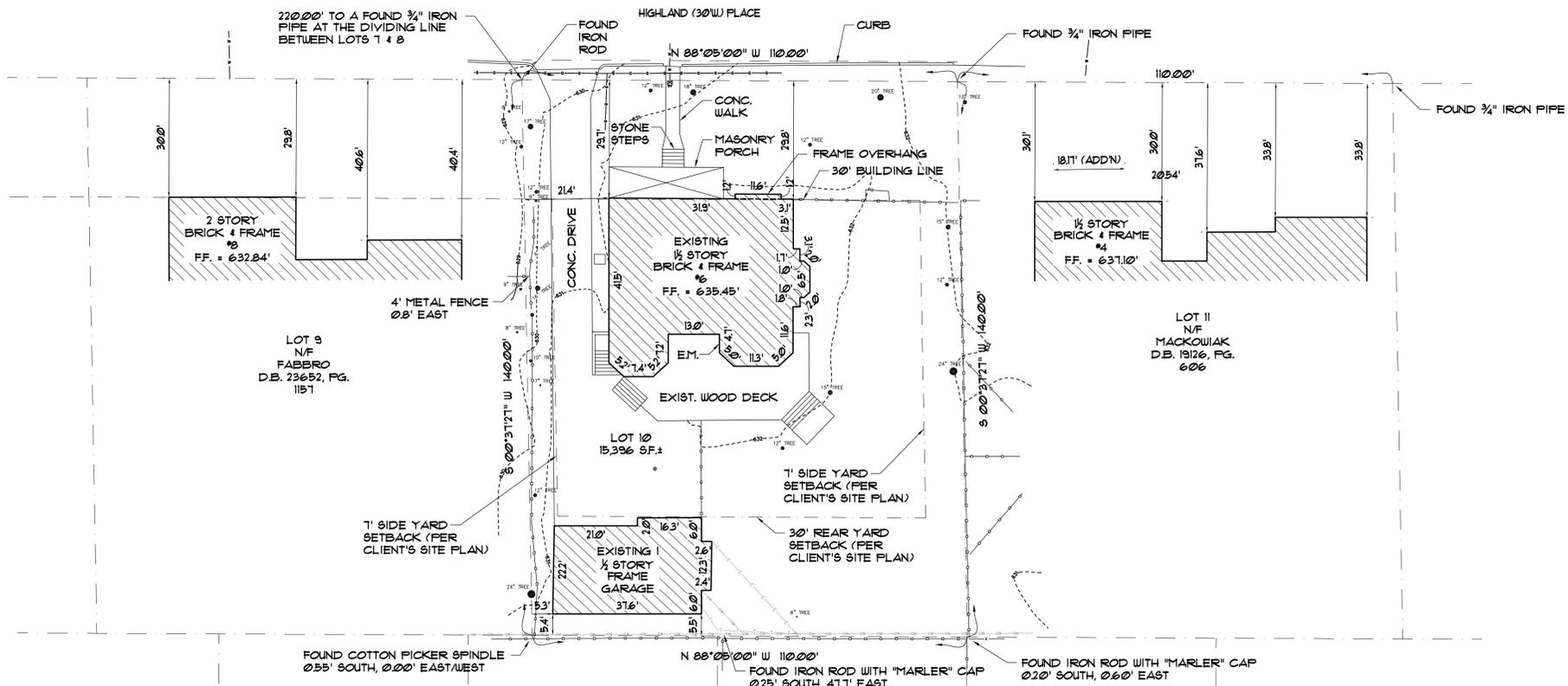
Date:
 December 22, 2024
 REVISION (DATE-BY):

Residential Addition for:
Dale & Kristin Messey
 6 Highland Place
 Glendale, MO 63122

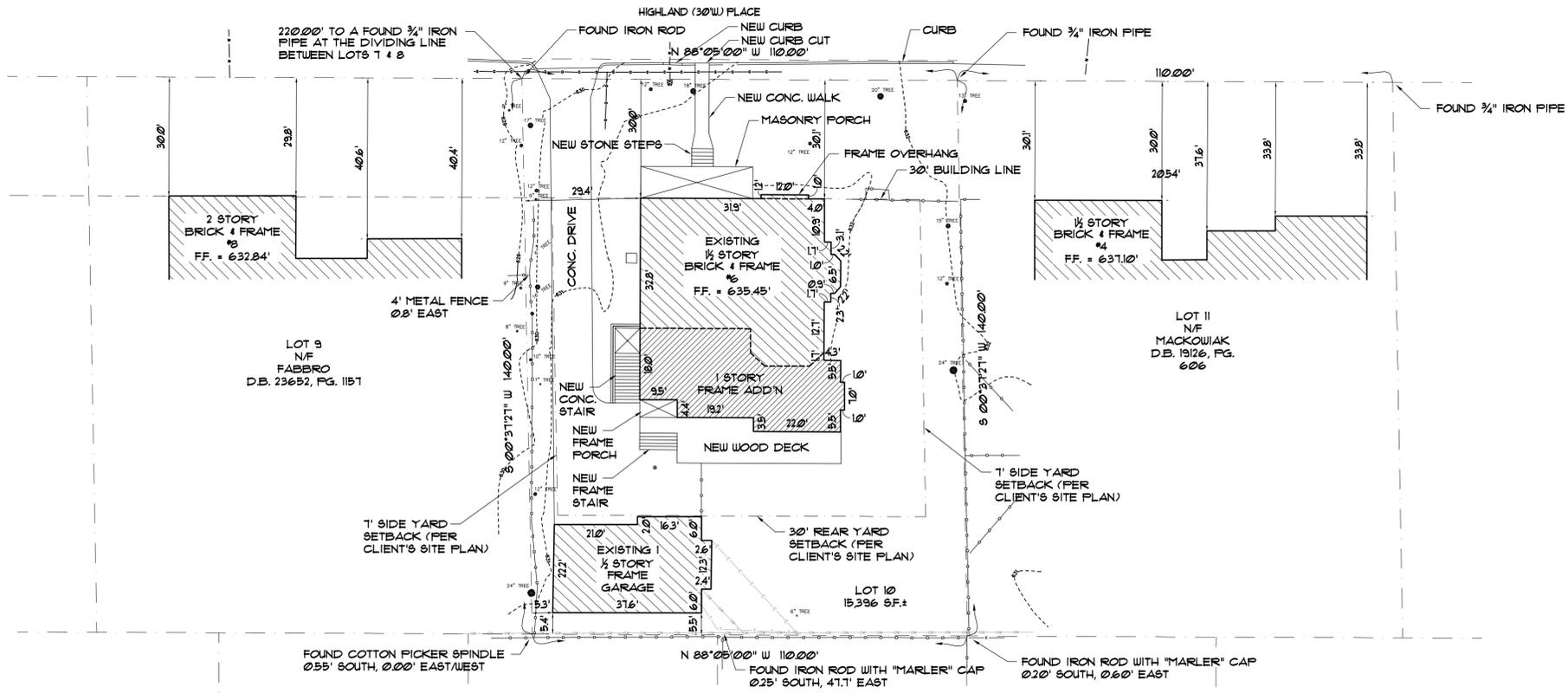
Michael E. Blaes - Architect
 MO # A-6158
 CERTIFICATE OF AUTHORITY #2016000407
 NOTICE OF SHARED PROPERTY
 MICHAEL E. BLAES, ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THE CONSTRUCTION DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE, AND THE ARCHITECT OF RECORD IS NO LONGER LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE.
 THE SEAL AND SIGNATURE APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE APPLIED. THE SIGNER OF THIS DOCUMENT EXPRESSLY DISCLAIMS ANY AND ALL RESPONSIBILITY FOR DOCUMENTS THAT DO NOT BEAR HIS SEAL AND SIGNATURE, INCLUDING, BUT NOT NECESSARILY LIMITED TO, DRAWINGS, SPECIFICATIONS, ESTIMATES, REPORTS AND OTHER SIMILAR INSTRUMENTS OF SERVICES INTENDED TO BE USED FOR THIS PROJECT.

Drawn By:
 TS
 Checked By:
 As Noted
 Drawing Name:
 Site Plan

Sheet No.
C-1



EXISTING SITE PLAN
 0 10' 20' 40'



NEW SITE PLAN
 0 10' 20' 40'

- LEGEND
- ⊙ - SEWER CLEANOUT
 - ⊕ - WATER VALVE
 - ⊙ - UTILITY POLE
 - - SEWER MANHOLE
 - ⊕ - ELECTRIC METER
 - T - TELEPHONE/COM. LINE
 - OW - OVER-HEAD WIRES
 - E - UNDERGROUND ELECTRIC
 - G - GAS MAIN
 - W - WATER LINE

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Drawn By:
TS

Checked By:

Drawing Name:
Foundation Plan

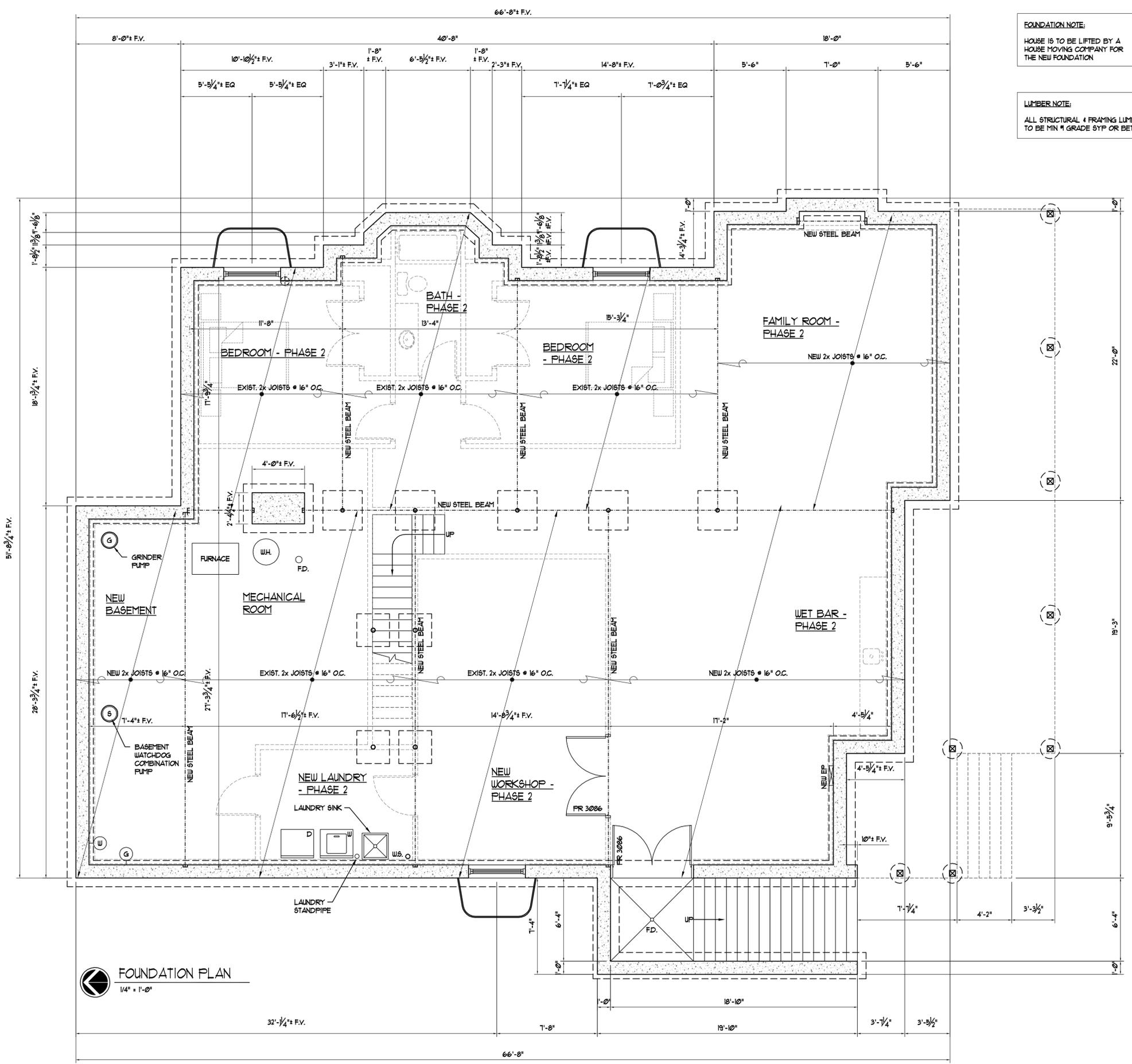
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A-1

FOUNDATION NOTE:
HOUSE IS TO BE LIFTED BY A HOUSE MOVING COMPANY FOR THE NEW FOUNDATION

LUMBER NOTE:
ALL STRUCTURAL & FRAMING LUMBER TO BE MIN # GRADE SYP OR BETTER

- BASEMENT PLAN KEYED NOTES:**
- CONTINUOUS POURED CONCRETE FOUNDATION WALL W/ CONT. FOURED CONCRETE FOOTING MIN. 2'-6" BELOW GRADE - SEE PLAN FOR SIZE
 - 3/4" DIA. X 150 LB/FT. (SCHEDULE 40) FIXED, NON-ADJUSTABLE STL. PIPE COL. ON 3'-0"X3'-0"X8" TK (MIN) CONC. PAD W/ 4" S. 8" O.C. EACH WAY OR CONCRETE FOUNDATION OR NEW CONCRETE PIER (WHERE OCCURS) - SEE DETAIL
 - BEAM POCKET - GROUT SOLID - LEVEL W/ STEEL SHIMS
 - DEPRESS FOUNDATION @ DOOR LOCATION
 - 4" TK CONCRETE SLAB W/ 6x6 W/4x14 WUF OVER 10 MIL VAPOR BARRIER & 4" COMPACTED GRANULAR FILL - PROVIDE CRACK CONTROL JOINTS @ 10'-0" MAX O.C. EA. WAY, TOOLED CONTROL JOINTS @ DRIVE & PATIOS (LT. BROOM FINISH), ZIP STRIPS @ BASEMENT (MAG FINISH)
 - SUMP PIT & PUMP W/ MIN. 15"x18" DEEP W/ FITTED COVER W/ BATTERY BACKUP - VERIFY SUMP LOCATION W/ OWNER - PROVIDE 4" PERFORATED DRAIN @ BASE OF FOOTING IN 1" CLEAN CRUSHED STONE FOR ENTIRE PERIMETER OF BASEMENT. CONNECT TO SUMP
 - PROVIDE ROUGH-IN FOR FUTURE BATH
 - 1/2" WOOD HANDRAIL & STAIR - SEE STAIR DETAILS
 - P.T. 6X6 P.T. POST W/ P866 ON CONC. PIER - MIN 30" BELOW GRADE - SEE PLAN FOR SIZE
 - FURNACE / A/C UNITS - COORDINATE W/ HVAC CONTRACTOR
 - WATER HEATER
 - CODE APPROVED EMERGENCY EGRESS WINDOW - MAX SILL 44" AFF. - MIN 20" CLEAR OPENING WIDTH - MIN 24" CLEAR OPENING HEIGHT - MIN 5.7 SQ. FT. NET CLEAR OPENING OBTAINED BY NORMAL OPERATION OF THE WINDOW FROM THE INSIDE
 - EMERGENCY EGRESS ESCAPE WELL BY BOULMAN KEMP OR EQUAL - SEE DETAIL
 - PROFILE OF STRUCTURE ABOVE
 - TWO (2) #5 BARS ALL AROUND WINDOW / DOOR OPENING
 - P.T. 2X10 LEDGER BOARD W/ 1/2" LAG SCREWS W/ WASHERS @ BAND BOARD @ 15" O.C. STAGGERED - ATTACH TO BAND BOARD
 - FIVE (5) P.T. 2X12 STRINGERS - EQUALLY SPACED
 - MIN 200 AMP (598 AMPS MAX) ELECTRIC PANEL. PROVIDE OPTION FOR NEW UNDERGROUND ELECTRIC SERVICE IN LIEU OF NEW SERVICE DROP FROM POLE. PANEL LOCATION TO BE COORDINATED BETWEEN ELECTRICIAN & OWNER
 - NEW U.G. WATER SERVICE TO STREET MAIN - MIN 11" - COORDINATE METER LOCATION W/ UTILITY COMPANY & OWNER
 - MIN. 2" WALL FURRING - P.T. 2X4 SILL PLATE, P.T. 2X4 STUDS @ 16" O.C., MIN R-10 INSULATION, 6 MIL VAPOR BARRIER, & 1/2" GYPSUM BOARD
 - SHELF & CENTERPOLE
 - COORDINATE WALL FRAMING & WIDTH W/ PLUMBING CHASE REQUIREMENTS
 - DECK TENSION TIE LOCATION
 - 4" CONC. WALK W/ 6x6 W/4x14 WUF OVER 4" COMPACTED GRANULAR FILL - PROVIDE TOOLED CONTROL JOINTS @ 5'-0" O.C. MAX. (LT. BROOM FINISH)
 - DOUPEL TO EXIST. FOUNDATION 4" S (MIN 24") @ 8" O.C. MIN. 6" EMBED - LAP DOUPEL TO VERTICAL REBAR - SEE DETAIL. CONTINUOUS POURED CONCRETE FOUNDATION WALL W/ CONT. FOURED CONCRETE FOOTING MIN. 2'-6" BELOW GRADE - SEE PLAN FOR SIZE

- FLOOR PLAN NOTES:**
- GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS PRIOR TO STARTING WORK. ARCHITECT TO BE NOTIFIED IN WRITING OF ANY & ALL DISCREPANCIES PRIOR TO STARTING WORK**
- ALL EXTERIOR WALLS 2x6 WOOD STUDS @ 16" O.C. W/ 1/2" WOOD STRUCTURAL PANELS ONE SIDE & 1/2" GIB ONE SIDE UNLESS OTHERWISE NOTED
- ALL INTERIOR WALLS 2x4 WOOD STUDS @ 16" O.C. W/ 1/2" GIB BOTH SIDES UNLESS OTHERWISE NOTED
- PROVIDE DOUBLE JOISTS UNDER WALLS PARALLEL TO JOIST SPANS
- PROVIDE SOLID BLOCKING BENEATH GIRDER TRUSS BEARING POINTS TO FOUNDATION OR STEEL BEAM BELOW
- ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION & QUANTITY OF ALL LIGHTS, FANS, RECEPTACLES, SWITCHES AND FLOOR RECEPTACLES WITH THE OWNER PRIOR TO SUBMITTING BID.
- MECHANICAL CONTRACTOR TO COORDINATE FINAL LOCATION & QUANTITY OF ALL SUPPLY DUCTS & SIZE OF ANY PENETRATIONS THRU FDN. WALLS & ROUTING OF SUPPLY/RETURN DUCTS PRIOR TO SUBMITTING BID.
- THE INTERIOR AND EXTERIOR WALL CONFIGURATION BRACES THE STRUCTURE IN ACCORDANCE WITH OR EQUIVALENT TO THE CONTINUOUS SHEATHING METHOD WITH CORNER FRAMING OF SECTION R602.10.4.1 OF THE 2015 EDITION OF IRC. (ALL EXTERIOR WALLS TO BE CONTINUOUSLY SHEATHED WITH 1/2" WOOD STRUCTURAL PANELS)



FOUNDATION PLAN
1/4" = 1'-0"

TICK MARKS ON THE BINDING MARGIN AND UPPER MARGIN ARE @ 1" CENTERS. IF THE TICK MARKS ARE NOT @ 1" CENTERS, THIS SHEET HAS BEEN REPRODUCED AT A SCALE OTHER THAN 1:1.

NOT FOR CONSTRUCTION

FIRST FLOOR KEYED NOTES:

- 1 PROVIDE SOLID BLOCKING @ ALL BEARING POINTS TO STEEL OR CONC. STRUCTURE BELOW
- 2 FLOORING CHANGE TRANSITION STRIP
- 3 CASED OPENING
- 4 EXISTING WOOD HANDRAIL & STAIR TO REMAIN - NO WORK
- 5 1 1/4" WOOD HANDRAIL - SEE DETAIL
- 6 EXISTING METAL GUARDRAIL & CONC. STAIR TO REMAIN - NO WORK
- 7 DECK GUARDRAIL - SEE DETAIL
- 8 DECK STAIR & HANDRAIL - SEE DETAIL
- 9 OWNER SELECTED DECKING
- 10 CODE APPROVED EMERGENCY EGRESS WINDOW - MAX SILL 44" AFF. - MIN 20" CLEAR OPENING WIDTH - MIN 24" CLEAR OPENING HEIGHT - MIN 5.1 SQ FT NET CLEAR OPENING OBTAINED BY NORMAL OPERATION OF THE WINDOW FROM THE INSIDE
- 11 PROVIDE TEMPERED GLASS @ WINDOWS ADJACENT TO DOOR SWINGS, STAIRS, & HAZARDOUS LOCATIONS
- 12 VENT DRYER TO EXTERIOR
- 13 PROVIDE ALL-IN-ONE WASHER PLUMBING BOX W/ WASTE & H/C WATER SUPPLIES RECESSED IN STUD WALL - PROVIDE DRAIN PAN BENEATH WASHER (OR FLOOR DRAIN)
- 14 OWNER SELECTED LAUNDRY ROOM BASE & WALL CABINETS
- 15 LAUNDRY SINK - COORDINATE SELECTION W/ CONTRACTOR
- 16 12" SQUARE LOAD BEARING PERMACAST COLUMN W/ CAP & BASE BY HB4G OR APPROVED EQUAL
- 17 PROFILE OF BOX BEAM ABOVE - SEE PORCH SECTION
- 18 4" CONC. WALK W/ 6x6 W/ 4x4 W/ F OVER 4" COMPACTED GRANULAR FILL - PROVIDE TOoled CONTROL JOINTS @ 5'-0" O.C. MAX. (LT. BROOM FINISH)
- 19 EMERGENCY EGRESS WINDOW WELL BELOW
- 20 POURED IN PLACE CONCRETE PORCH STAIR - MIN 10" TREADS, 1" NOSINGS, MAX 1 1/2" RISERS - SEE SECTION
- 21 DIRECT VENT WOOD FIREPLACE UNIT BY HEAT-N-GLO OR EQUAL - INSTALL PER MANUFACTURER'S SPECIFICATIONS
- 22 MINIMUM 18" NON-COMBUSTABLE HEARTH READILY DISTINGUISHED FROM SURROUNDING FLOOR AREA
- 23 BENCH SEAT W/ CUBBIES BELOW & COAT HOOKS ABOVE

FLOOR PLAN NOTES:

GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS PRIOR TO STARTING WORK. ARCHITECT TO BE NOTIFIED IN WRITING OF ANY & ALL DISCREPANCIES PRIOR TO STARTING WORK.

ALL EXTERIOR WALLS 2x6 WOOD STUDS @ 16" O.C. W/ 1/2" WOOD STRUCTURAL PANELS ONE SIDE & 1/2" GIBB ONE SIDE UNLESS OTHERWISE NOTED

ALL INTERIOR WALLS 2x4 WOOD STUDS @ 16" O.C. W/ 1/2" GIBB BOTH SIDES UNLESS OTHERWISE NOTED

PROVIDE DOUBLE JOISTS UNDER WALLS PARALLEL TO JOIST SPANS

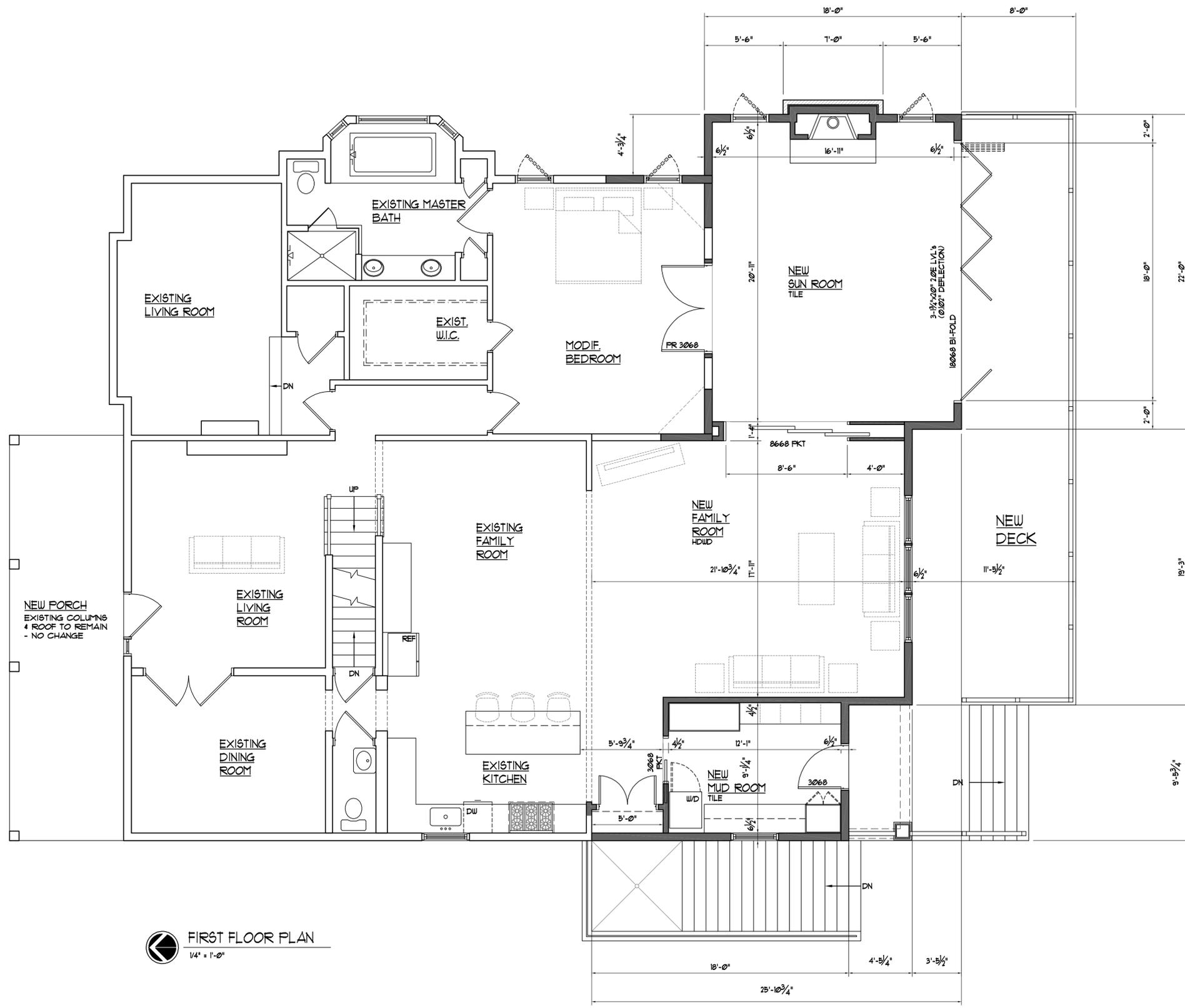
PROVIDE SOLID BLOCKING BENEATH GIRDER TRUSS BEARING POINTS TO FOUNDATION OR STEEL BEAM BELOW

ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION & QUANTITY OF ALL LIGHTS, FANS, RECEPTACLES, SWITCHES AND FLOOR RECEPTACLES WITH THE OWNER PRIOR TO SUBMITTING BID.

MECHANICAL CONTRACTOR TO COORDINATE FINAL LOCATION & QUANTITY OF ALL SUPPLY DUCTS & SIZE OF ANY PENETRATIONS THRU FDN. WALLS & ROUTING OF SUPPLY/RETURN DUCTS PRIOR TO SUBMITTING BID.

THE INTERIOR AND EXTERIOR WALL CONFIGURATION BRACES THE STRUCTURE IN ACCORDANCE WITH OR EQUIVALENT TO THE CONTINUOUS SHEATHING METHOD WITH CORNER FRAMING OF SECTION R602.10.4.1 OF THE 2015 EDITION OF IRC. (ALL EXTERIOR WALLS TO BE CONTINUOUSLY SHEATHED WITH 1/2" WOOD STRUCTURAL PANELS.)

LUMBER NOTE:
 ALL STRUCTURAL & FRAMING LUMBER TO BE MIN #1 GRADE SYP OR BETTER



FIRST FLOOR PLAN
 1/4" = 1'-0"



Date:
December 22, 2024

△ REVISION (DATE-BY):

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Michael E. Blaes - Architect
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Drawn By:
TS

Checked By:

Drawing Name:
Roof Plan

Sheet No.
A-3

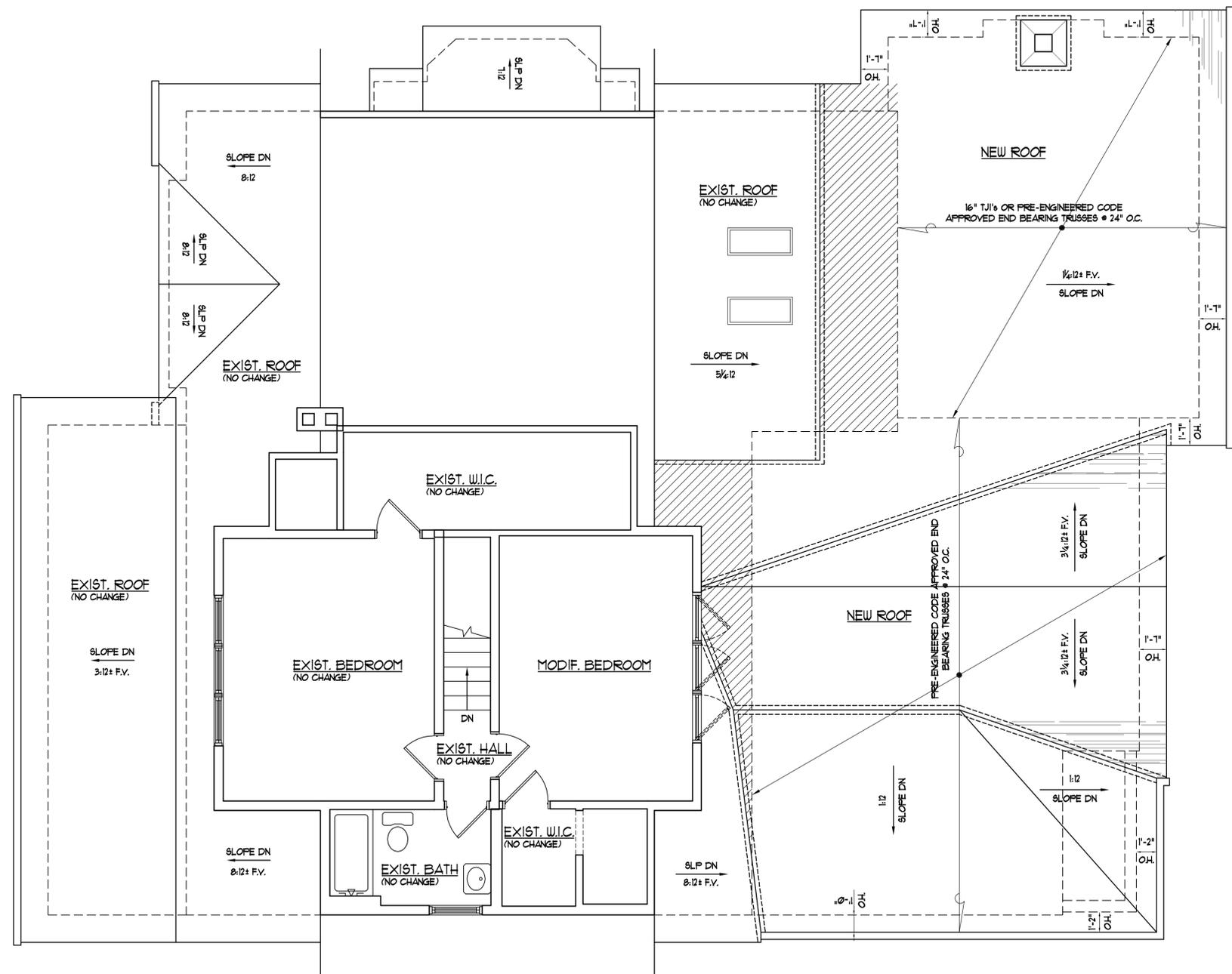
- ROOF PLAN KEYED NOTES:**
- ARCHITECTURAL ASPHALT SHINGLES (OWNER SELECTED) ON 1/2" ROOFING FELT & 1/2" STRUCTURAL WOOD PANELS - PROVIDE ICE & WATER SHIELD BENEATH ALL SHINGLES LESS THAN 4/12 SLOPES & PERIMETER TO 24" WITHIN INSIDE FACE OF EXT. WALL
 - FULLY ADHERED 60 MIL EPDM ROOF MEMBRANE ON 1/2" WOOD STRUCTURAL PANEL w/ 1/2" HIGH DENSITY RIGID TAPERED INSULATION - 1:12 SLOPE - MIN. R-49 TOTAL
 - 6" ALUMINUM GUTTER & 3x4 D.S. - PROVIDE LEAF GUARDS
 - CONTINUOUS ALUMINUM FLASHING - INTERLACE SHINGLES & ROOF VALLEYS w/ ICE & WATER SHIELD BELOW - PROVIDE ALUMINUM STEP FLASHING & CHIMNEY
 - PROVIDE ICE & WATER SHIELD BENEATH ALL SHINGLES LESS THAN 3:12 SLOPES & PERIMETER TO 24" WITHIN INSIDE FACE OF EXT. WALL
 - PROFILE OF STRUCTURE BELOW
 - PROFILE OF BOX BEAM BELOW - SEE PLAN FOR SIZE
 - CONTINUOUS RIDGE VENT
 - HATCHING INDICATES AREA OF 2x OVERFRAMING @ 24" O.C.
 - PRE-ENGINEERED CODE APPROVED END BEARING TRUSSES @ 24" O.C.

GENERAL TRUSS NOTE

TRUSS MANUFACTURER TO FIELD VERIFY NEW ROOF SLOPE TO ALIGN EXISTING & NEW ROOF PEAKS AND EXISTING & NEW ALIGN FASCIA BOARDS - PROVIDE TRUSS DRAWINGS FOR APPROVAL BY ARCHITECT PRIOR TO FABRICATION

ROOF SYSTEM TO BE DESIGNED BY ROOF TRUSS MANUFACTURER FOR BEARING ON EXTERIOR WALLS. PROVIDE ATTIC & STAIR AREAS WITH BEARING TO TRANSFER TO STEEL BEAMS IN BASEMENT BELOW VIA LOAD BEARING PARTITIONS. PROVIDE LOADS ON BEAMS & PARTITIONS & THEIR LOCATIONS FOR REVIEW BY ARCHITECT.

REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR ADDITIONAL INFORMATION



ROOF PLAN
1/4" = 1'-0"

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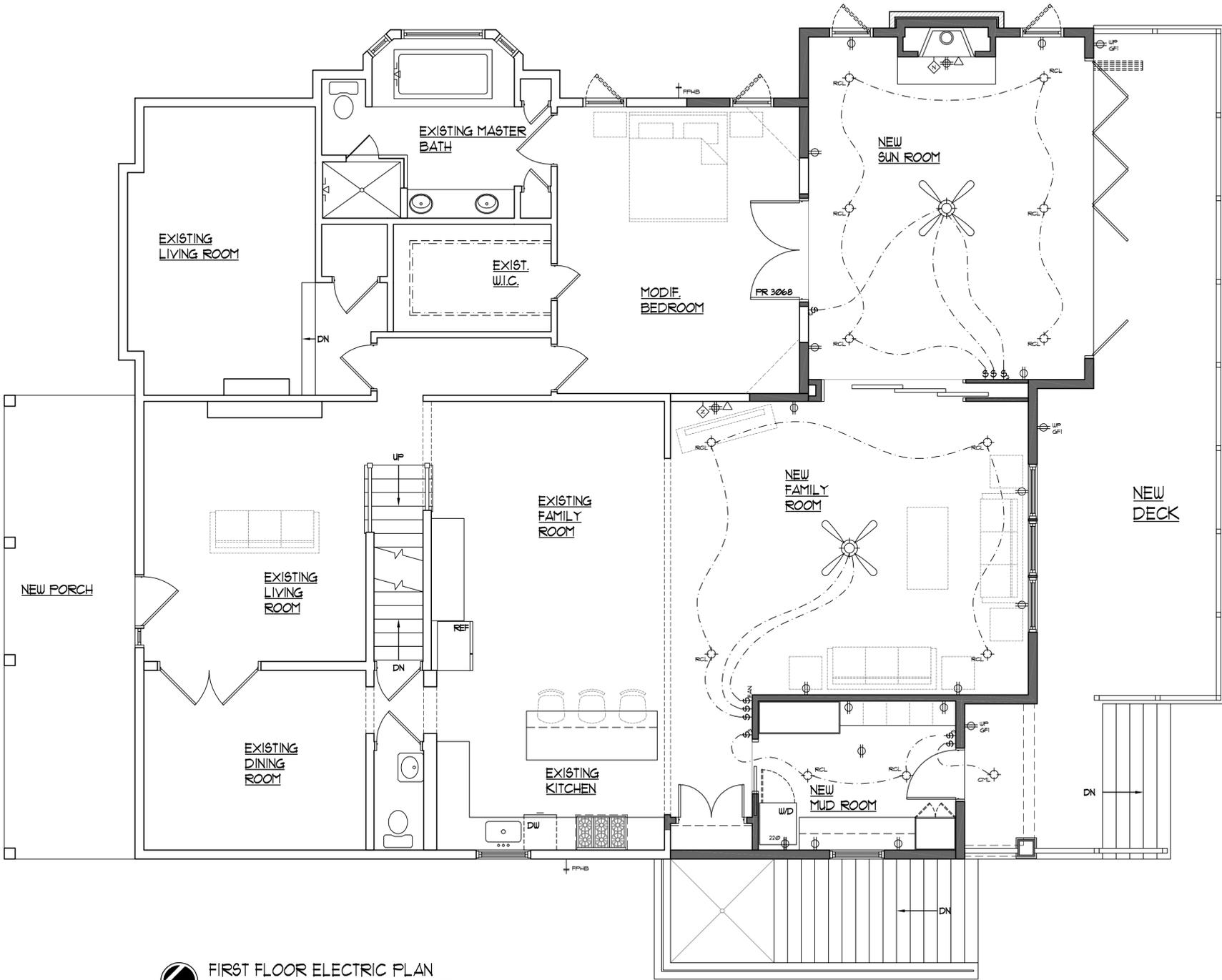
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 TS
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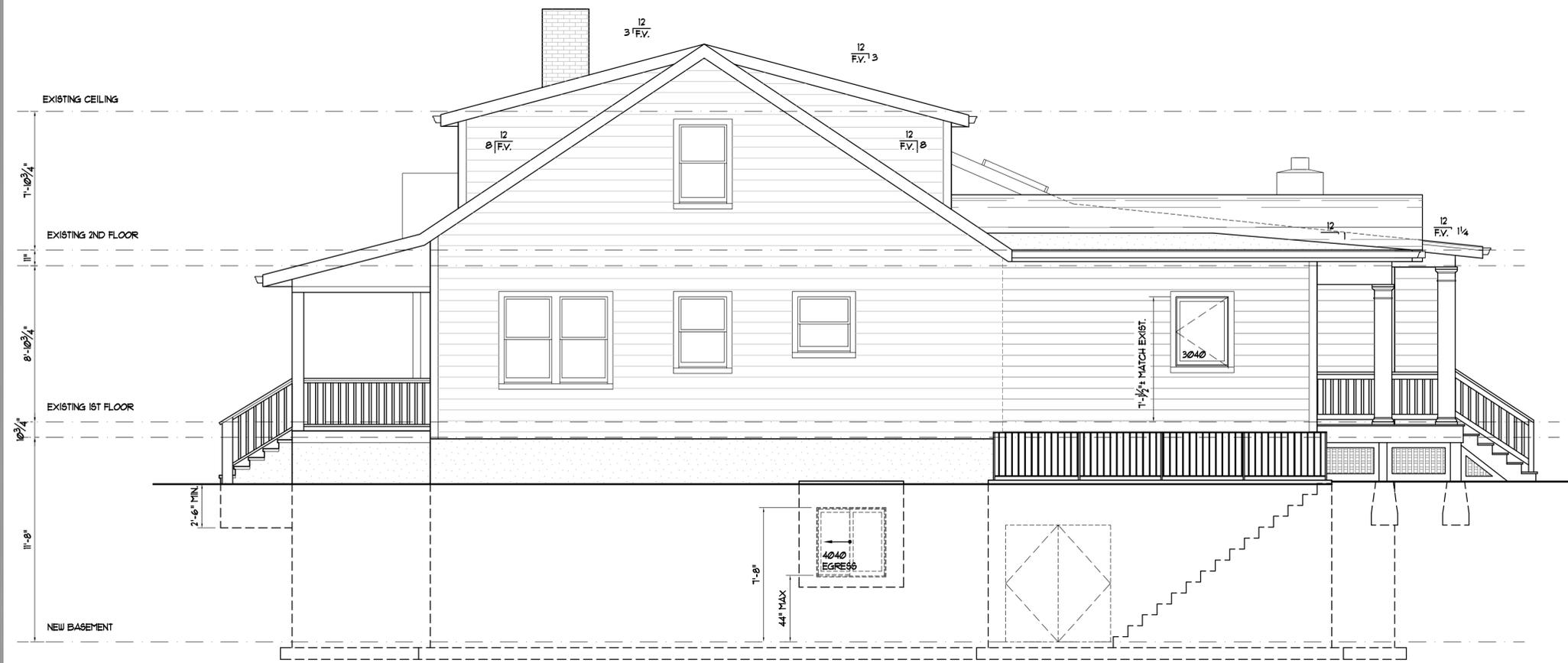
 Drawing Name:
 Electric Plan
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A-4



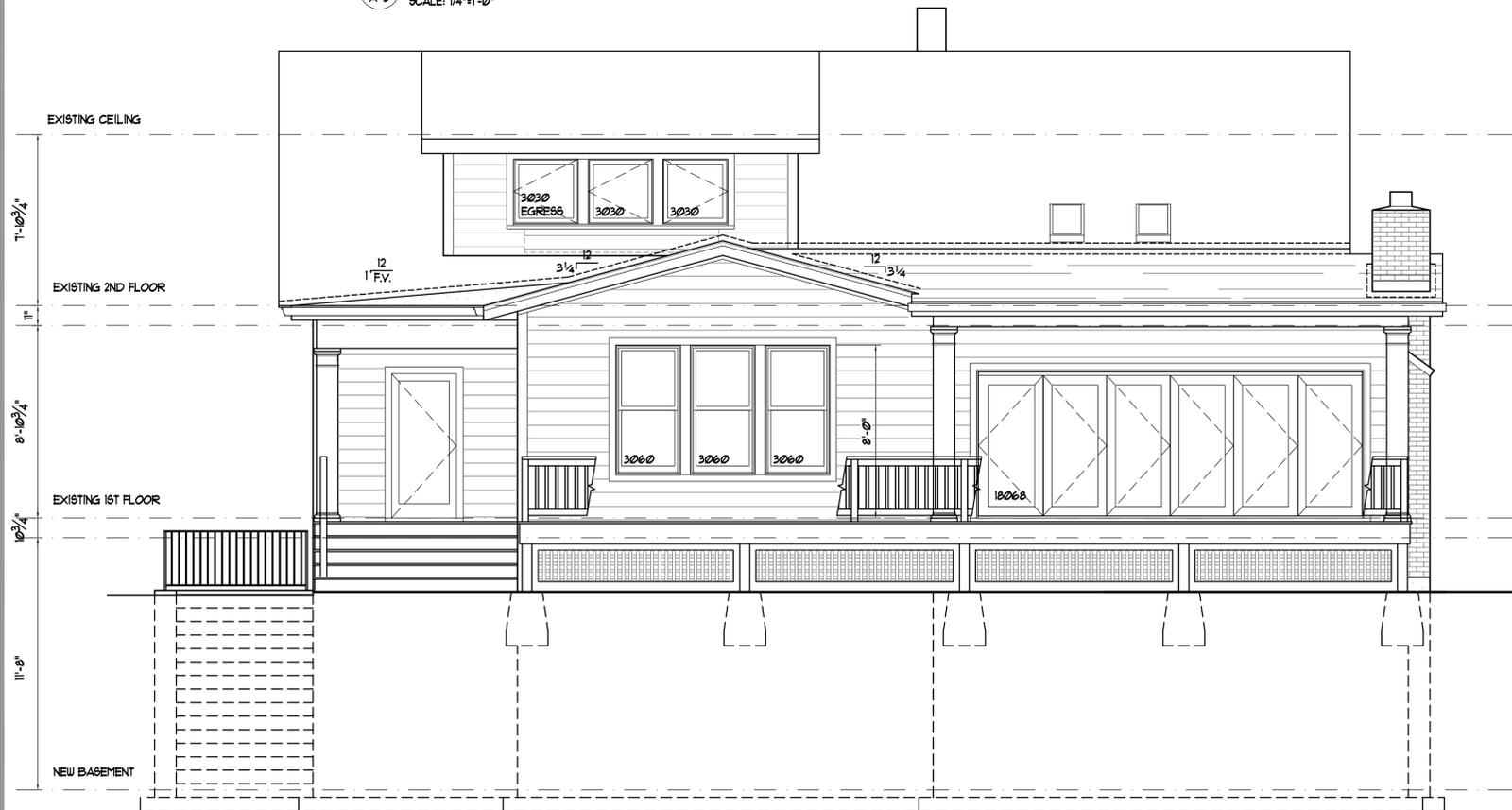

FIRST FLOOR ELECTRIC PLAN
 1/4" = 1'-0"

TICK MARKS ON THE BINDING MARGIN AND UPPER MARGIN ARE @ 1" CENTERS. IF THE TICK MARKS ARE NOT @ 1" CENTERS, THIS SHEET HAS BEEN REPRODUCED AT A SCALE OTHER THAN 1:1.

NOT FOR CONSTRUCTION



1 WEST ELEVATION
A-5 SCALE: 1/4"=1'-0"



2 SOUTH ELEVATION
A-5 SCALE: 1/4"=1'-0"

- 17 POURED IN PLACE CONCRETE STEP - MIN 10" TREADS, MAX 13" RISERS
- 18 12"x12" LOAD BEARING PERMACAST CRAFTSMAN TAPERED COLUMN W/ CAP & BASE BY HB4G OR EQUAL ON 1'-6"x1'-6" LIMESTONE PLINTH - SEE SECTION
- 19 BOX BEAM - SEE SECTION
- 20 EXTERIOR WALL MOUNTED LIGHT FIXTURE - COORDINATE SELECTION W/ OWNER
- 21 CODE APPROVED EMERGENCY EGRESS WINDOW - MAX SILL 44" AFF. - MIN 20" CLEAR OPENING WIDTH - MIN 24" CLEAR OPENING HEIGHT - MIN 5.1 SQ FT NET CLEAR OPENING OBTAINED BY NORMAL OPERATION OF THE WINDOW FROM THE INSIDE
- 22 EMERGENCY EGRESS ESCAPE WELL W/ LADDER & COVER BY BOUMAN KEMP OR EQUAL - SEE DETAIL
- 23 WOOD OR VINYL LATTICE IN 1x4 P.T. FRAME - PAINT
- 24 DECK STAIR & HANDRAIL - SEE SECTION
- 25 DECK GUARDRAIL - SEE DETAIL
- 26 CONC. PIER - MIN 30" BELOW GRADE - SEE PLAN FOR SIZE

ELEVATION KEYED NOTES:

- 1 ROOFING:
MATERIAL: ARCHITECTURAL ASPHALT SHINGLES
MANUFACTURER: T.B.D.
PRODUCT NAME: T.B.D.
WARRANTY: 25 YEAR MINIMUM
COLOR: T.B.D.
MISC: INSTALL SOFFIT VENTS & CONTINUOUS ROOF RIDGE VENTS
- 2 ROOFING: SELECTED BY OWNER
MATERIAL: FULLY ADHERED 60 MIL EPDM ROOF MEMBRANE ON 3/4" WOOD STRUCTURAL PANEL
MANUFACTURER: T.B.D.
PRODUCT NAME: T.B.D.
WARRANTY: 25 YEAR MINIMUM
COLOR: BLACK
MISC: 3/4" HIGH DENSITY RIGID TAPERED INSULATION - 1:12 SLOPE - MIN. R-49 TOTAL
- 3 GUTTERS & DOWNSPOUTS:
MATERIAL: ALUMINUM
SIZE: 6" 3x4 DOWNSPOUTS W/ BRACKETS
PROFILE: OGEE
COLOR: TAN
MISC: 1x2 GUTTER BD. & CONTINUOUS ALUMINUM GUTTER & DOWNSPOUT W/ LEAF GUARDS
- 4 FLASHING:
MATERIAL: CORROSION-RESISTANT METAL FLASHING (ALUM.)
ROOF/WALL: CORROSION-RESISTANT METAL FLASHING (ALUM.)
ROOF VALLEYS: INTERLACE SHINGLES W/ ICE & WATER SHIELD BELOW
MASONRY & CHIMNEY: ALUMINUM STEEP FLASHING MATCH COLORS OF ADJACENT MATERIALS
- 5 LAP SIDING:
MATERIAL: FIBER CEMENT HARDIE PLANK (OPTIONAL CEDAR)
MANUFACTURER: JAMES HARDIE OR EQUAL
PROFILE: 1 1/2" EXPOSURE LAP - MATCH EXISTING
COLOR: TAN - PAINT
WINDOW & DOOR TRIM: MATCH EXISTING PROFILE - PAINT BROWN
SILLS - MATCH EXISTING
- 6 WINDOWS: (SIZES SHOWN IN FT.-IN, NOM. UNIT SIZE)
MANUFACTURER: MARVIN OR EQUAL
MATERIAL: CLAD WOOD - MATCH EXISTING
GLASS: INSULATED, LOW E
MUNTINS: SIMULATED DIVIDED LIGHTS - AS SHOWN
COLOR: T.B.D / DK. BROWN EXTERIOR, PRE-FINISH WHITE INTERIOR
HARDWARE: WHITE - STANDARD
SCREENS: CHARCOAL / WHITE FRAMES
JAMB THICKNESS: 4 3/16"
WINDOW TRIM: 2" BRICK MOULD
MASONRY WALLS, 5 1/2" FRAME WALLS
MAX. U-FACTOR: 0.25 PER 2012 IRC TABLE N102.1
MISC: MANUFACTURER TO FIELD VERIFY SIZES AND LOCATIONS W/ OWNER PRIOR TO ORDERING. DOUBLE HUNG WINDOW PAIRS TO HAVE SUPPORT MULLION - HEADERS SIZED ACCORDINGLY
- 6 DOORS: (SIZES SHOWN IN FT.-IN, NOM. UNIT SIZE)
MANUFACTURER: MARVIN OR EQUAL
MATERIAL: CLAD WOOD UNITS
GLASS: INSULATED, LOW E
MUNTINS: 8DL, AS SHOWN
COLOR: T.B.D. - DK. BROWN
HARDWARE: STANDARD
SCREENS: CHARCOAL / T.B.D. FRAMES
JAMB THICKNESS: 4 3/16"
DOOR TRIM: 2" BRICK MOULD
MASONRY WALLS, 5 1/2" FRAME WALLS - DK BROWN
MISC: MANUFACTURER TO FIELD VERIFY SIZES AND LOCATIONS W/ OWNER PRIOR TO ORDERING. DOUBLE HUNG WINDOW PAIRS TO HAVE SUPPORT MULLION - HEADERS SIZED ACCORDINGLY
- 7 FACE BRICK: MATCH EXISTING
SIZE: MATCH EXISTING
BOND: COMMON W/ FLEMISH BOND
COURSE: EIGHTH
COLOR: MIXED - MATCH EXISTING
MORTAR: MATCH EXISTING
PROVIDE 48" SQUARE MOCK UP PANEL ON SITE FOR REVIEW & APPROVAL BY ARCHITECT
- 9 APPROXIMATE GRADE LINE
- 10 CONTINUOUS CONCRETE FOUNDATION WALL & FOOTING - MIN 30" BELOW GRADE
- 11 CONTINUOUS RIDGE VENT
- 12 RAKE TRIM - SEE SECTION
- 13 1x4 GABLE TRIM
- 14 CHIMNEY & FLUES MIN 3'-0" ABOVE ROOF & 2'-0" ABOVE ROOF WITHIN 10'-0" OF ROOF - PROVIDE NEW OWNER SELECTED CHIMNEY CAP
- 15 1x12 HARDIPLANK BAND BOARD W/ FLASHING - SEE SECTION
- 16 EXISTING STRUCTURE



Date:
December 22, 2024

REVISION (DATE-BY):

Residential Addition for:
Dale & Kristin Messey
6 Highland Place
Glendale, MO 63122

Michael E. Blaes - Architect
MO # A-6158
CERTIFICATE OF AUTHORITY #2016000402
NOTICE OF SHARED PROPERTY
MICHAEL E. BLAES, ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THE CONSTRUCTION DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE AND THE ARCHITECT OF RECORD IS NO LONGER LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE. THE SEAL AND SIGNATURE APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE AFFIXED. THE SIGNER OF THIS DOCUMENT EXPRESSLY DISCLAIMS ANY AND ALL RESPONSIBILITY FOR DOCUMENTS THAT DO NOT BEAR HIS SEAL AND SIGNATURE INCLUDING, BUT NOT NECESSARILY LIMITED TO, DRAWINGS, SPECIFICATIONS, ESTIMATES, REPORTS AND OTHER SIMILAR INSTRUMENTS OF SERVICES INTENDED TO BE USED FOR THIS PROJECT.

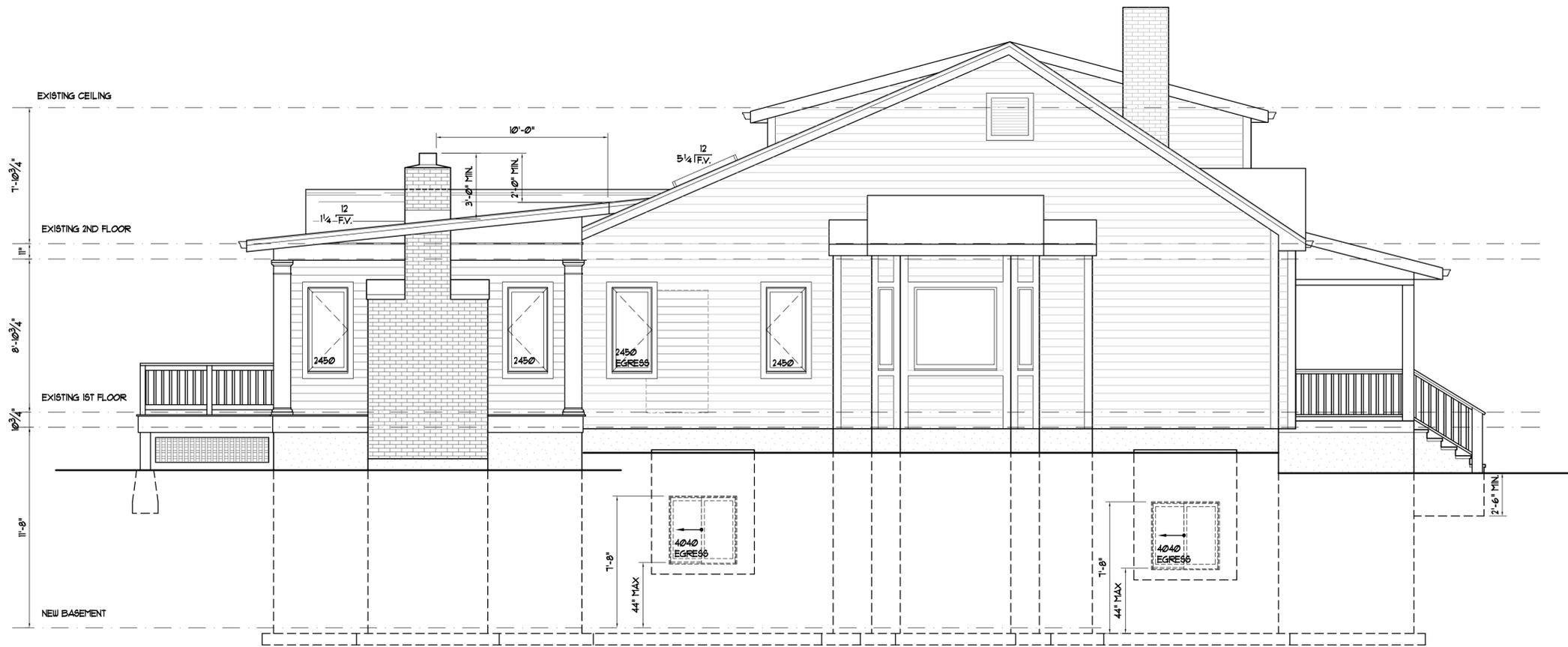
Drawn By:
TS

Checked By:

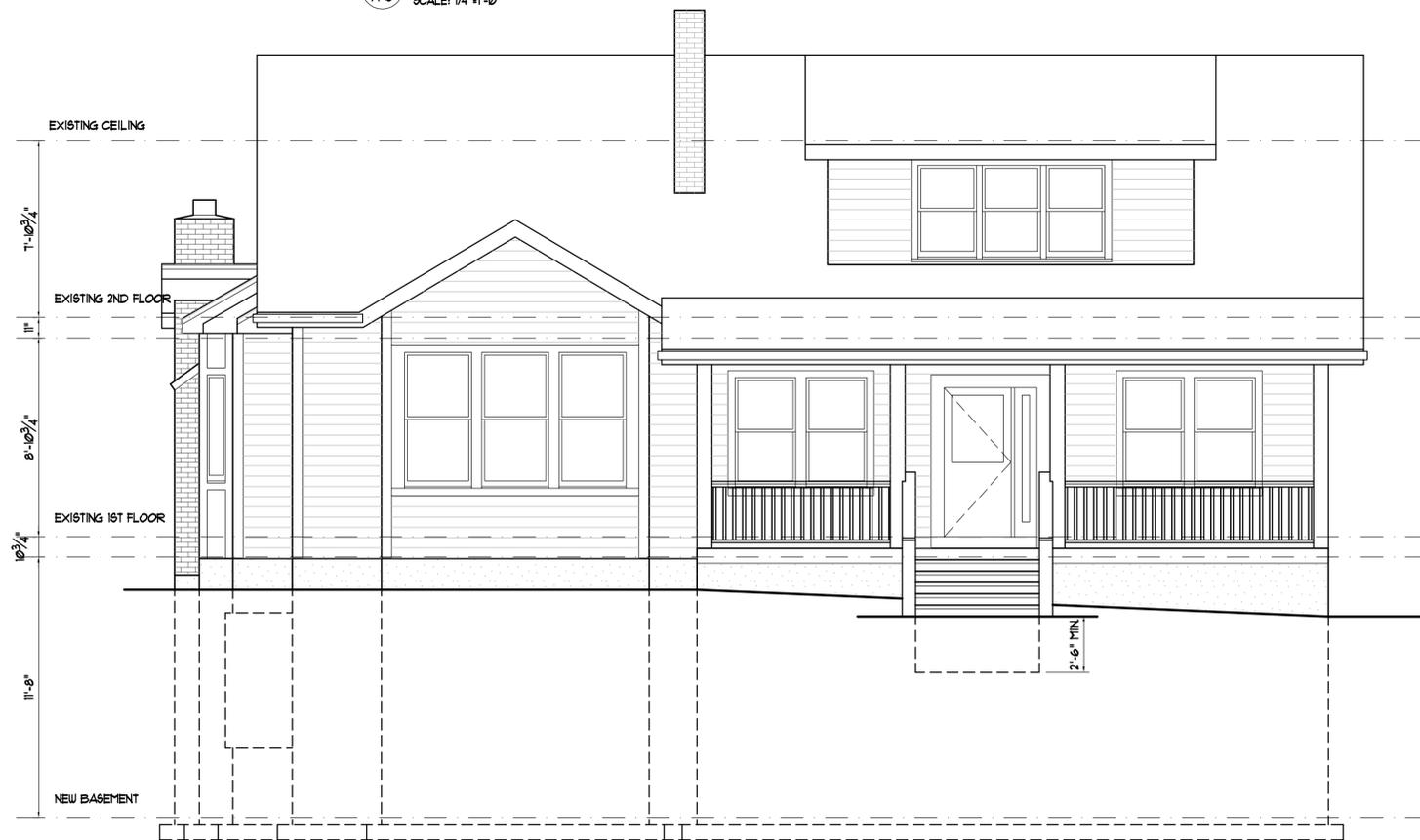
Drawing Name:
Elevations

Sheet No.
A-5

NOT FOR CONSTRUCTION



1 EAST ELEVATION
A-6 SCALE: 1/4"=1'-0"



2 NORTH ELEVATION
A-6 SCALE: 1/4"=1'-0"

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- 22 EMERGENCY EGRESS ESCAPE WELL W/ LADDER & COVER BY BOUMAN KEMP OR EQUAL - SEE DETAIL
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- 24 DECK STAIR & HANDRAIL - SEE SECTION
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- 26 CONC. PIER - MIN 30" BELOW GRADE - SEE PLAN FOR SIZE

ELEVATION KEYED NOTES:

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MANUFACTURER: T.B.D.
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MATERIAL: ALUMINUM
SIZE: 6" 3x4 DOWNSPOUTS W/ BRACKETS
PROFILE: OGEE
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PROFILE: 1 1/2" EXPOSURE LAP - MATCH EXISTING
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WINDOW & DOOR TRIM: MATCH EXISTING PROFILE - PAINT BROWN
SILLS - MATCH EXISTING
- 6 WINDOWS: (SIZES SHOWN IN FT.-IN, NOM. UNIT SIZE)
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MATERIAL: CLAD WOOD UNITS
GLASS: INSULATED, LOW E
MUNTINS: 9DL, AS SHOWN
COLOR: T.B.D. - DK. BROWN
HARDWARE: STANDARD
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- 7 FACE BRICK: MATCH EXISTING
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COLOR: MIXED - MATCH EXISTING
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- 16 EXISTING STRUCTURE



Date:
December 22, 2024

REVISION (DATE-BY):

Residential Addition for:
Dale & Kristin Messey
6 Highland Place
Glendale, MO 63122

Michael E. Blaes - Architect
MO # A-6158
CERTIFICATE OF AUTHORITY #2016000402
NOTICE OF SHARED PROPERTY
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Drawn By:
TS

Checked By:

Drawing Name:
Elevations

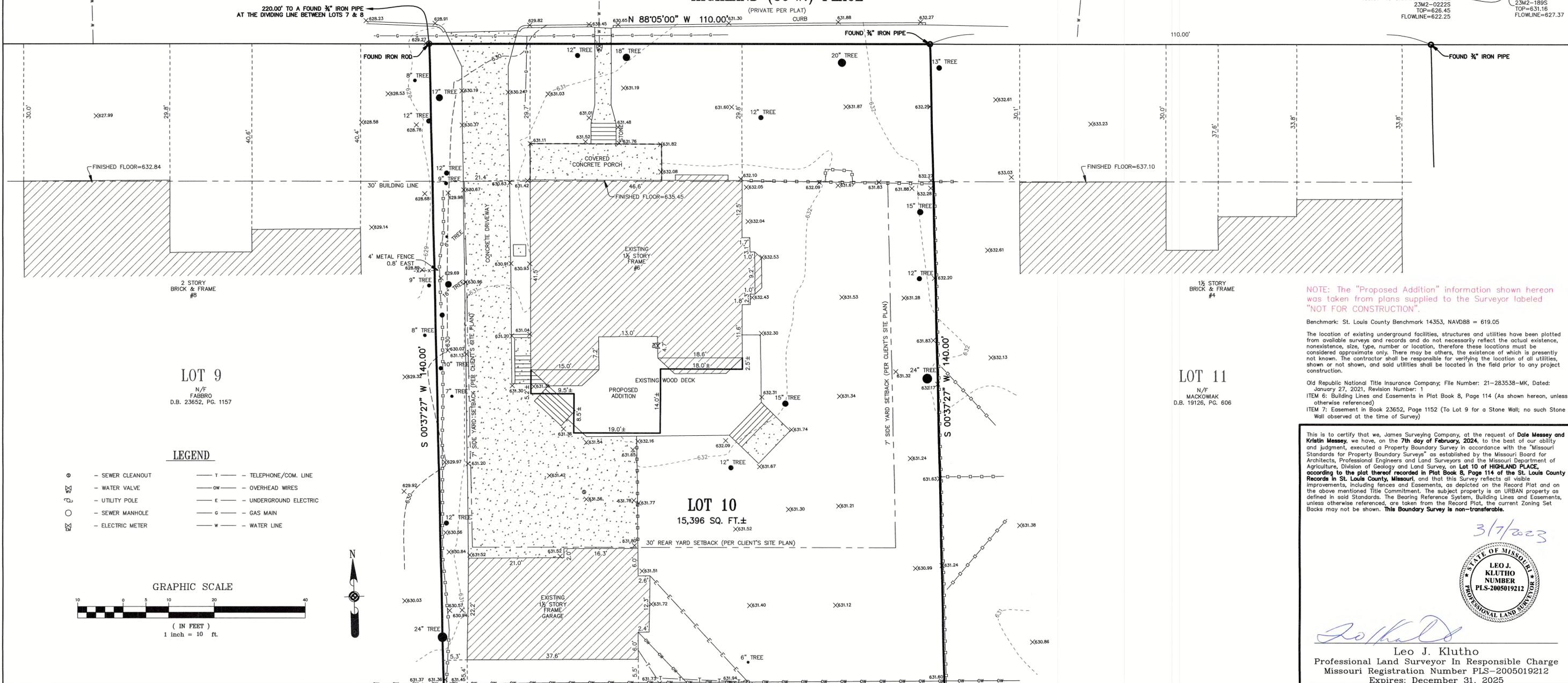
Sheet No.
A-6

NOT FOR CONSTRUCTION

PROPERTY BOUNDARY SURVEY

8" VCP (CPP)

HIGHLAND (30'W.) PLACE



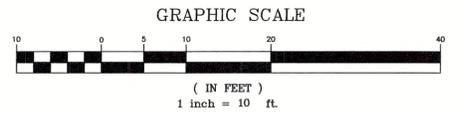
LOT 9
N/F
FABBRO
D.B. 23652, PG. 1157

LOT 11
N/F
MACKOWAK
D.B. 19126, PG. 606

LOT 10
15,396 SQ. FT.±

LEGEND

- SEWER CLEANOUT
- WATER VALVE
- UTILITY POLE
- SEWER MANHOLE
- ELECTRIC METER
- TELEPHONE/COM. LINE
- OVERHEAD WIRES
- UNDERGROUND ELECTRIC
- GAS MAIN
- WATER LINE



NOTE: The "Proposed Addition" information shown hereon was taken from plans supplied to the Surveyor labeled "NOT FOR CONSTRUCTION".

Benchmark: St. Louis County Benchmark 14353, NAVD88 = 619.05

The location of existing underground facilities, structures and utilities have been plotted from available surveys and records and do not necessarily reflect the actual existence, nonexistence, size, type, number or location, therefore these locations must be considered approximate only. There may be others, the existence of which is presently not known. The contractor shall be responsible for verifying the location of all utilities, shown or not shown, and said utilities shall be located in the field prior to any project construction.

Old Republic National Title Insurance Company, File Number: 21-283538-MK, Dated: January 27, 2021, Revision Number: 1
 ITEM 6: Building Lines and Easements in Plat Book 8, Page 114 (As shown hereon, unless otherwise referenced)
 ITEM 7: Easement in Book 23652, Page 1152 (To Lot 9 for a Stone Wall; no such Stone Wall observed at the time of Survey)

This is to certify that we, James Surveying Company, at the request of Dale Messey and Kristin Messey, we have, on the 7th day of February, 2024, to the best of our ability and judgment, executed a Property Boundary Survey in accordance with the "Missouri Standards for Property Boundary Surveys" as established by the Missouri Board for Architects, Professional Engineers and Land Surveyors and the Missouri Department of Agriculture, Division of Geology and Land Survey, on Lot 10 of HIGHLAND PLACE, according to the plat thereof recorded in Plat Book 8, Page 114 of the St. Louis County Records in St. Louis County, Missouri; and that this Survey reflects all visible improvements, including fences and Easements, as depicted on the Record Plat and on the above mentioned Title Commitment. The subject property is an URBAN property as defined in said Standards. The Bearing Reference System, Building Lines and Easements, unless otherwise referenced, are taken from the Record Plat, the current Zoning Set Backs may not be shown. **This Boundary Survey is non-transferable.**



Leo J. Klutho
Leo J. Klutho
 Professional Land Surveyor in Responsible Charge
 Missouri Registration Number PLS-2005019212
 Expires: December 31, 2025

PROPERTY BOUNDARY SURVEY

James Surveying Company
 Professional Land Surveying Corporation
 Original Certificate/License No. 000129
 Project Address: 6 Highland Place
 Kirkwood, MO
 63122

1	3/7/2024	G.D.	Additional utilities and neighboring structures
REV. DATE		BY	DESCRIPTION
SUR. C.W. DES.	SCALE: 1" = 10'		PROJECT NUMBER
DRW. G.D. CHK. L.J.K.	February 21, 2024		216195
DATE PREPARED:			SHEET 1 OF 1

JAMES SURVEYING COMPANY
 LAND SURVEYORS

10811 BIG BEND BOULEVARD KIRKWOOD, MO. 63122
 PHONE: (314) 822-1006 FAX: (314) 822-0006

WINNETKA - P.B. 38, PG. 20
 (SOURCE OF BEARINGS)

LOT 11
N/F
SAPP
D.B. 13849, PG. 815

LOT 9
N/F
BOCHTLER
DEED DOC. 2023032300451

LOT 7
N/F
TAYLOR
D.B. 17672, PG. 3556

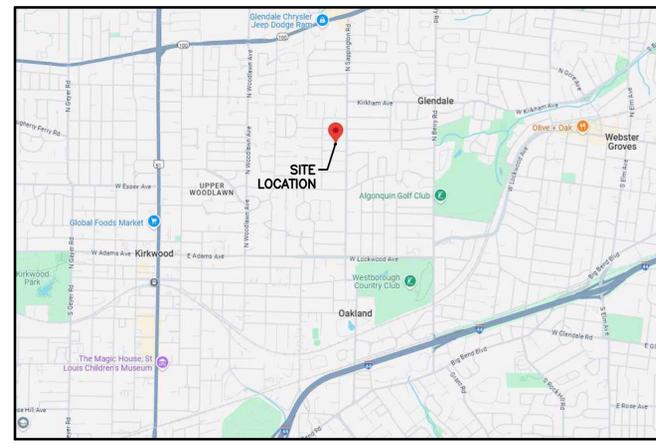


MB Engineering, Inc.
606 Ryan Dr.
Energy, IL 62933
(314) 368-3040

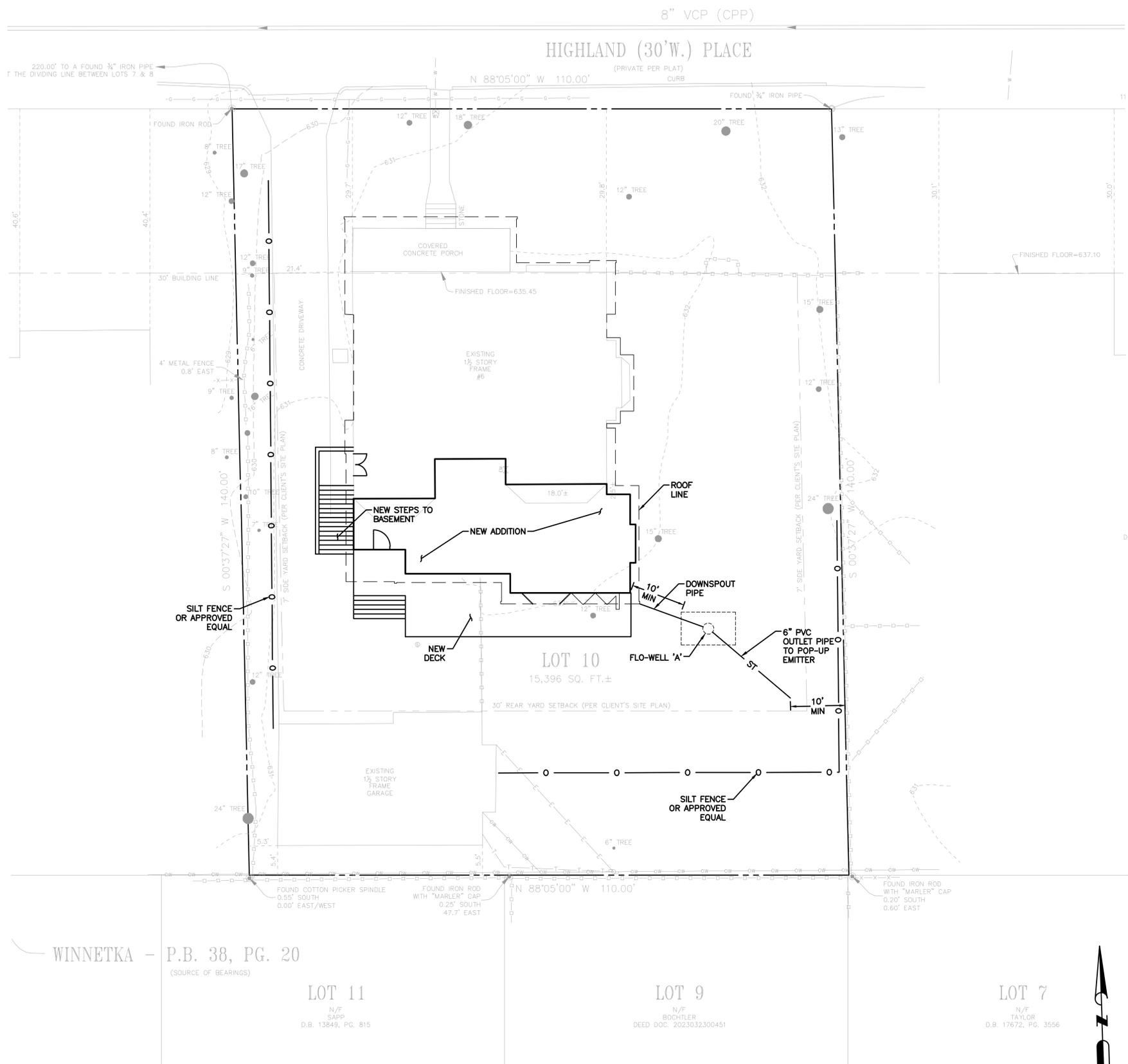


Michael A. Buescher, P.E., Civil Engineer
Missouri P.E. E-2001018714
MB Engineering, Inc. Missouri Authority No. E-2015041404

The Professional Engineer's seal affixed to this sheet indicates that the named Engineer has prepared or directed the preparation of the material shown only on this sheet. Other drawings and documents not exhibiting this seal shall not be considered prepared by or the responsibility of the undersigned.



LOCATION MAP



NOTES:

- AREAS SURROUNDING THIS SITE MAY CONTAIN BOTH PEDESTRIAN AND VEHICLE TRAFFIC. ALL NECESSARY CARE SHALL BE TAKEN BY THE CONTRACTOR TO ENSURE THE SAFETY OF THE GENERAL PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING AND MAINTAINING SAFE AND EFFICIENT PROJECT LIMITS. THE CONTRACTOR SHALL FOLLOW ALL FEDERAL, STATE AND LOCAL GUIDELINES WITH REGARDS TO CONSTRUCTION SAFETY THROUGHOUT THE ENTIRE DURATION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY BREACHES OF SAFETY OR DESTRUCTION OF PROPERTY RELATED TO THE CONSTRUCTION OF THIS PROJECT.
- ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF ACCORDING TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL NECESSARY INSPECTIONS WITH MSD, AND/OR ALL OTHER UTILITY COMPANIES INVOLVED WITH THIS PROJECT. THE CONTRACTOR SHALL ALSO PAY ANY FEES ASSOCIATED WITH PERMITS, INSPECTIONS AND ANY OTHER CONSTRUCTION RELATED ACTIVITIES
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS NOT TO DAMAGE ANY EXISTING SITE FEATURES TO REMAIN. IF ANY DAMAGE OCCURS, THE CONTRACTOR SHALL CONTACT THE OWNERS REPRESENTATIVE IMMEDIATELY. THE CONTRACTOR SHALL REPAIR ALL DAMAGED ITEMS TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE ARE OTHERS, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR(S) TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION PRIOR TO ANY EXCAVATION OR TRENCHING WORK TO AVOID DAMAGING THEM.
- NO ALTERATIONS TO THE EXISTING DRAINAGE PATTERN ARE PROPOSED.
- ALL TREES TO BE KEPT UNLESS NOTATED WITH "TO BE REMOVED" (TBR).
- SANITARY SEWER SERVICE: NO NEW SEWER WORK IS PROPOSED.
- WATER SERVICE: NO NEW WATER SERVICE IS PROPOSED.
- GAS SERVICE: NO NEW GAS SERVICE IS PROPOSED.
- GUTTER GUARDS SHALL BE INSTALLED ON ALL GUTTERS TIED TO THE FLO-WELL SYSTEM

PROJECT REVISION:

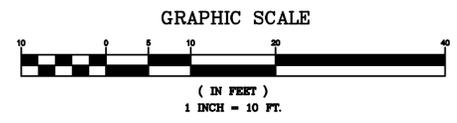
NO.	DATE	DESCRIPTION
1	01-14-25	FOR REVIEW

WINNETKA - P.B. 38, PG. 20
(SOURCE OF BEARINGS)

LOT 11
N/F
SAPP
D.B. 13849, PG. 815

LOT 9
N/F
BOCHTLER
DEED DOC. 2023032300451

LOT 7
N/F
TAYLOR
D.B. 17672, PG. 3556



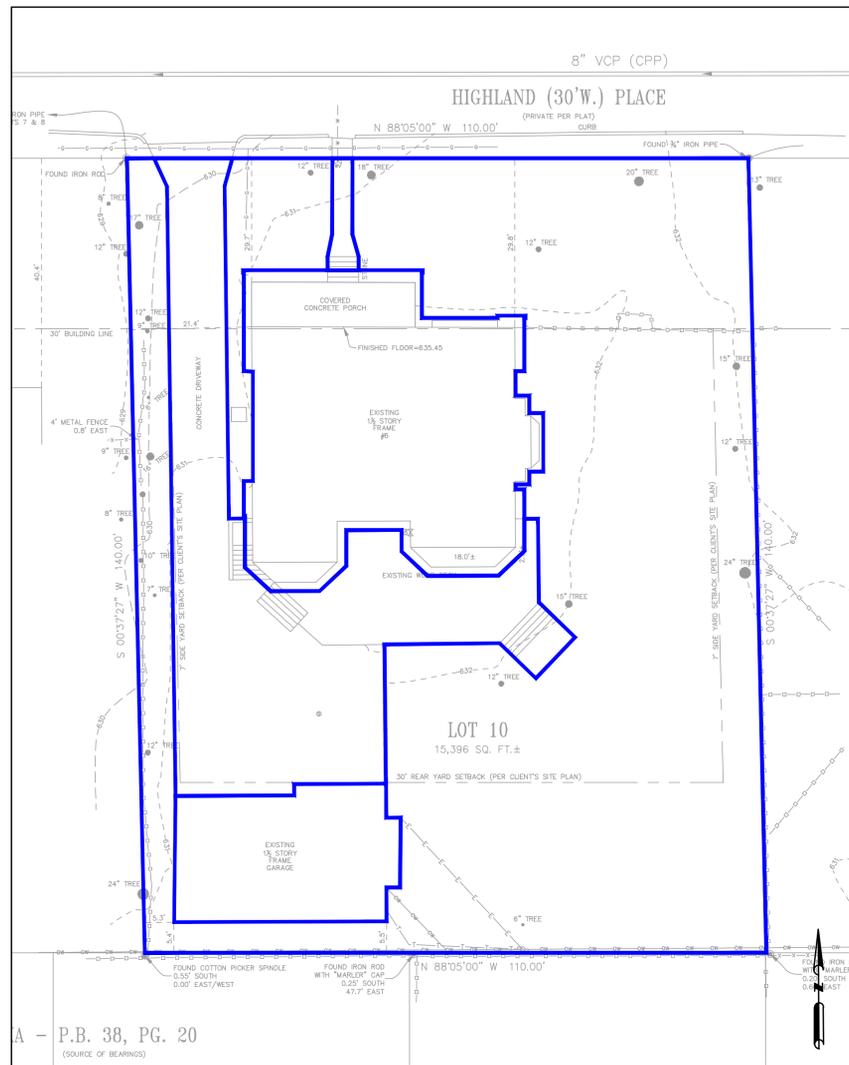
Plans are prepared for:
Blaes Architects
643 Glen Rd. at Tuxedo
Park Station
Webster Groves, MO 63119
(314)968-9202

DATE: 01-14-25
DRAFTED BY: KB
APPRVD. BY: MB

SHEET TITLE:
SITE PLAN

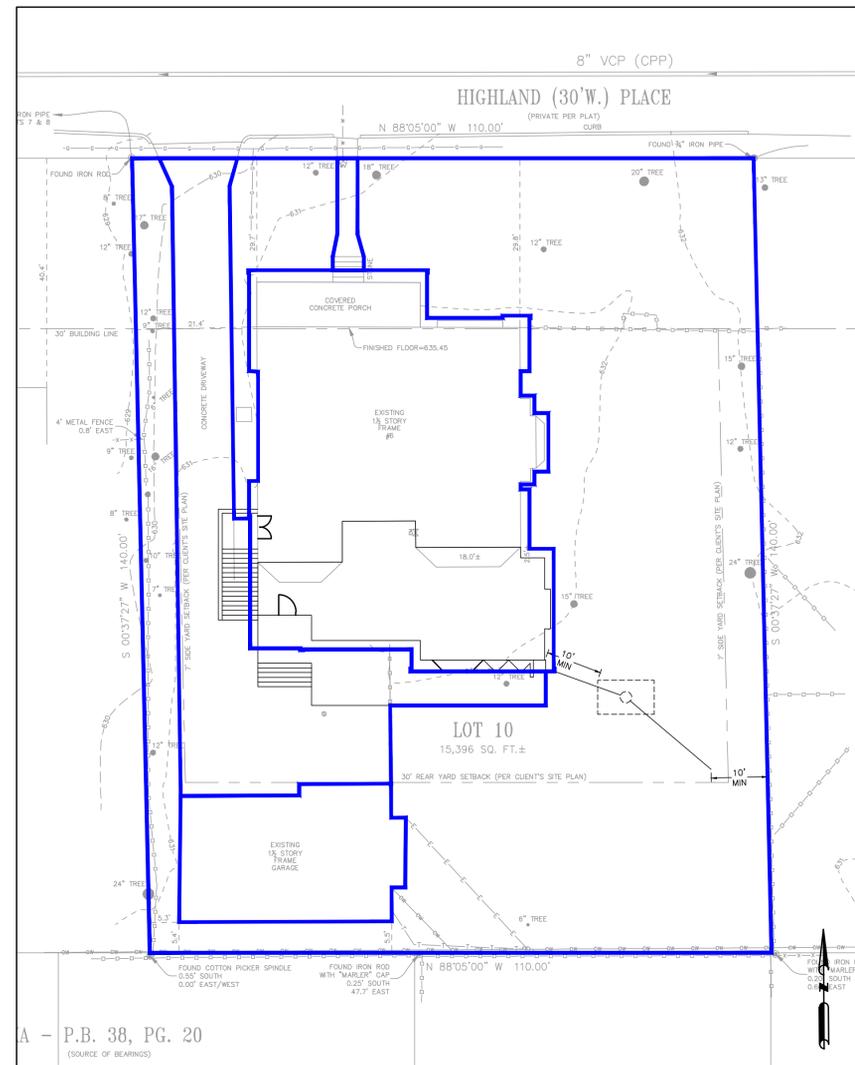
SHEET NUMBER:
C1

PROJECT NO: 24-876



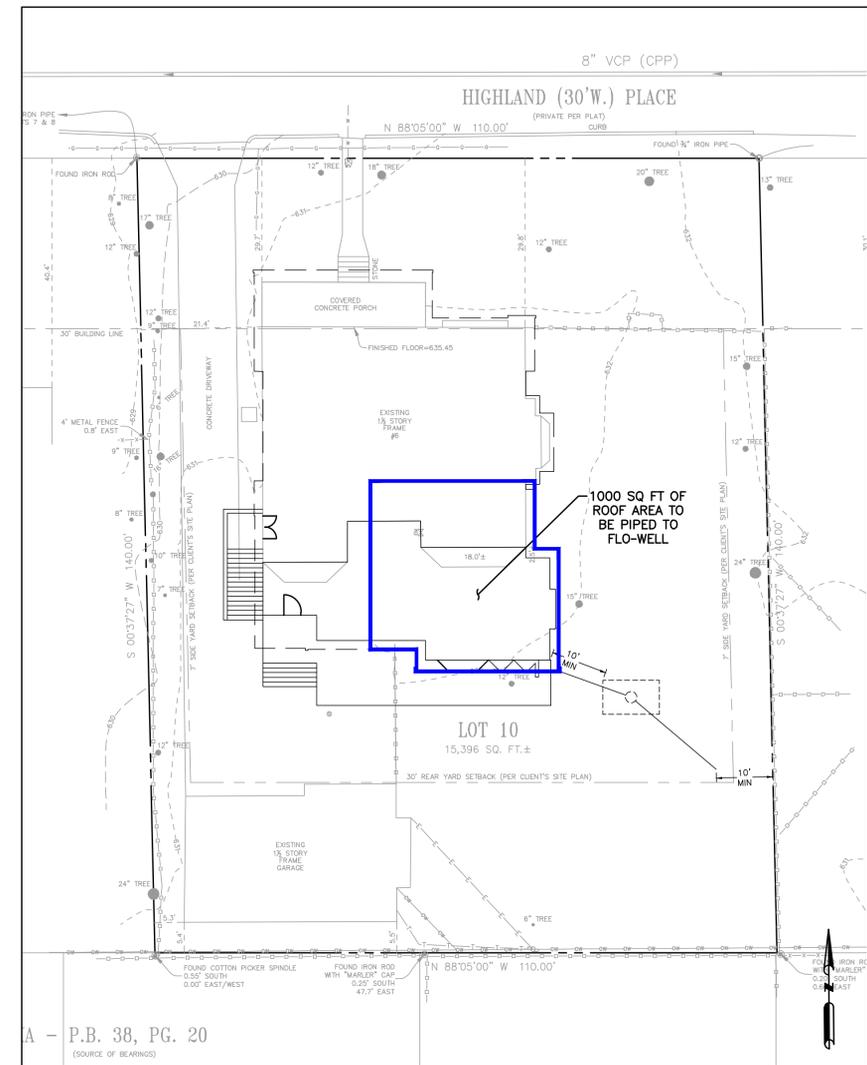
SCALE: 1"=15'

PROPOSED AREA	AREA (SF)	COVERAGE	ACRES	PI	CFS
ROOF	3,344.60	21.72%	0.077	3.54	0.272
GRAVEL	0.00	0.00%	0.000	3.54	0.000
PAVEMENT	2,760.41	17.93%	0.063	3.54	0.224
LAWN	9,291.07	60.35%	0.213	1.70	0.363
TOTALS	15,396.08	100.00%	0.353		0.859



SCALE: 1"=15'

PROPOSED AREA	AREA (SF)	COVERAGE	ACRES	PI	CFS
ROOF	4,227.36	27.46%	0.097	3.54	0.344
GRAVEL	0.00	0.00%	0.000	3.54	0.000
PAVEMENT	2,136.94	13.88%	0.049	3.54	0.174
LAWN	9,031.78	58.66%	0.207	1.70	0.352
TOTALS	15,396.08	100.00%	0.353		0.870



SCALE: 1"=15'

TOTAL RUNOFF DIFFERENTIAL = 0.011 CFS
 0.011 CFS OF ADDITIONAL STORMWATER RUNOFF NEEDS TO BE MITIGATED
 15YR 20MIN VOLUME = 0.011 x 20 x 60 = 13.2 CUBIC FEET
 TOTAL ROOF AREA TO BE COLLECTED = 1000 SQ FT = 0.081 CFS
 15YR 20MIN VOLUME = 0.081 x 20 x 60 = 97.2 CUBIC FEET
 FLO-WELL VOLUME = 50 GALLONS = 6.68 CUBIC FEET
 ROCK VOID STORAGE AROUND FLO-WELL
 = ((10 x 6 x 3.83) - 6.68) * 0.4 = 93.33 CUBIC FEET
 TOTAL VOLUME = 6.68 + 93.33 = 100.01 CUBIC FEET



MB Engineering, Inc.
 606 Ryan Dr.
 Energy, IL 62933
 (314) 368-3040



Michael A. Buescher, P.E., Civil Engineering
 Missouri P.E. License No. E-2001018714
 MB Engineering, Inc. Missouri Authority No. E-2015041404

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PROJECT REVISION:

NO.	DATE	DESCRIPTION
1	01-14-25	FDR REVIEW

6 Highland Place
 Glendale, MO 63128

Plans are prepared for:
 Blaess Architects
 643 Glen Rd. at Tuxedo
 Park Station
 Webster Groves, MO 63119
 (314)968-9202

DATE: 01-14-25
 DRAFTED BY: KB
 APPRVD. BY: MB

SHEET TITLE:
 DRAINAGE AREA MAP

SHEET NUMBER:
C2

PROJECT NO: 24-876



**Install and maintain tree protection fence as indicated on preservation plan for all trees marked SAVE.
Silt protection shall be installed in a trenchless manner if introduced within the critical root zone of any tree to be
SAVED. (I.E. woodchips, wattles, and hay bales)**

I hereby certify that I have viewed the premises and provided this professional opinion regarding the survivability of significant trees on this site and abutting the site. Attached is a site plan illustrating the recommended location of tree protection fencing. This fence is to remain erect throughout the construction project . All tree inspections were performed from the ground and are limited in scope. Tree and utility locations are approximate and locations of utilities are subject to change.

A handwritten signature in black ink, appearing to read "Nick Wibbenmeyer".

Nick Wibbenmeyer
I.S.A. Certified Arborist
MW 6357A



TREE STUDY
SITE PLAN REVIEW
1/13/2025

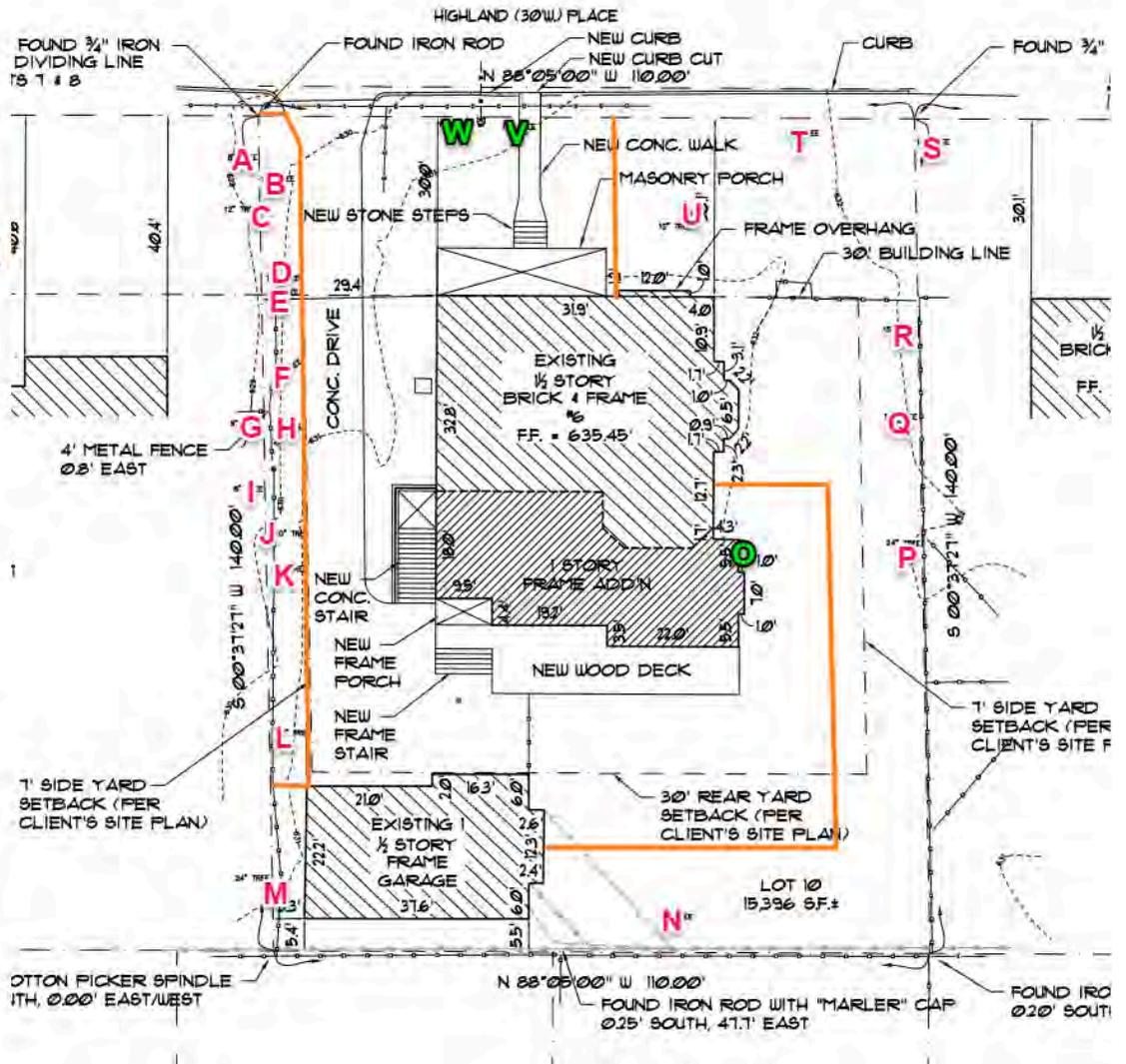
PROPERTY LOCATION: 6 Highland Place

#	TREE SPECIES	D B H	PRESERVE/ TBR	ADJOINING LOT	COMMENTS	C	L	S
A	American elm	8"		YES	co-dominant at 12', deadwood	59	40	35
B	Osage orange	17"			burls on trunk, epicormic growth, phototropic, deadwood, storm damage	46	40	25
C	hackberry	12"		SHARED	strong central leader, one sided, phototropic, minor deadwood	63	40	68
D	American elm	15"			irregular trunk taper, lean, co-dominant at 15', deadwood	58	40	35
E	shingle oak	9"			epicormic growth, compartmentalized wounds on trunk, minor deadwood	52	40	68
F	American elm	6"			co-dominant at 12', minor deadwood	60	40	35
G	mockernut hickory	9"		YES	lean, strong central leader, phototropic	63	40	61
H	American elm	15"			exposed root flare, irregular trunk taper, co-dominant at 10', minor deadwood	65	40	35
I	shingle oak	7"		YES	strong central leader, epicormic growth, minor deadwood	63	40	68
J	red mulberry	10"		SHARED	co-dominant at 4', involved with wooden fence, epicormic growth	49	40	19
K	American elm	7"			co-dominant at 3', included bark, minor deadwood	59	40	35
L	persimmon	12"			irregular trunk taper, one sided, deadwood	59	40	51
M	American elm	24"		SHARED	compartmentalized wounds on trunk, co-dominant at 20', deadwood	57	40	35
N	southern magnolia	7"			sucker growth, included bark, minor deadwood	63	40	58
O	hornbeam	16"	TBR		girdling root, exfoliating bark, bifurcations at 6', included bark, deadwood PROPOSED ADDITION	57	40	70
P	silver maple	23"			exposed root flare, epicormic growth, compartmentalized wounds on trunk, deadwood	56	40	27
Q	black cherry	10"			multi-stemmed, included bark,	58	40	46

					minor deadwood, frost crack			
R	silver maple	16"			lean, storm damage, deadwood	53	40	27
S	tulip poplar	14"		YES	strong central leader, minor deadwood	66	40	72
T	sweet gum	22"			compartmentalized wounds on trunk, bifurcations at 8' , storm damage, deadwood	54	40	52
U	flowering cherry	11"			bifurcations at 2', frost crack, epicormic growth	63	40	69
V	sweet gum	18"	TBR		strong central leader, deadwood PROPOSED WALKWAY	62	40	52
W	sweet gum	13"	TBR		strong central leader, one sided, deadwood DEMO/PROPOSED WALKWAY	59	40	52
1	eastern redbud	2.5"	INSTALL					
2	saucer magnolia	2.5"	INSTALL					
3	American hornbeam	2.5"	INSTALL					
4	sugar maple	2.5"	INSTALL					
5	post oak	2.5"	INSTALL					

TOTAL TREES (@ or above 6" DBH)	TOTAL VIABLE TREES	TREES REMOVED	DEAD/DYING/ DISEASED REMOVE	VIABLE TREES REMOVED	# OF VIABLE INCHES REMOVED	# OF 2.5" CALIPER REPLACEMENT TREES REQUIRED (1 per 10" removed)	OR REPLACEMENT COST @ \$120 PER CALIPER INCH (\$2,400 Max)
19	19	3	0	3 O. 16" hornbeam V. 18" sweetgum W. 13" sweetgum	47	5 trees installed	\$2,400 + 3 trees

**PRESERVE
TBR
TREE
PROTECTION
FENCE**

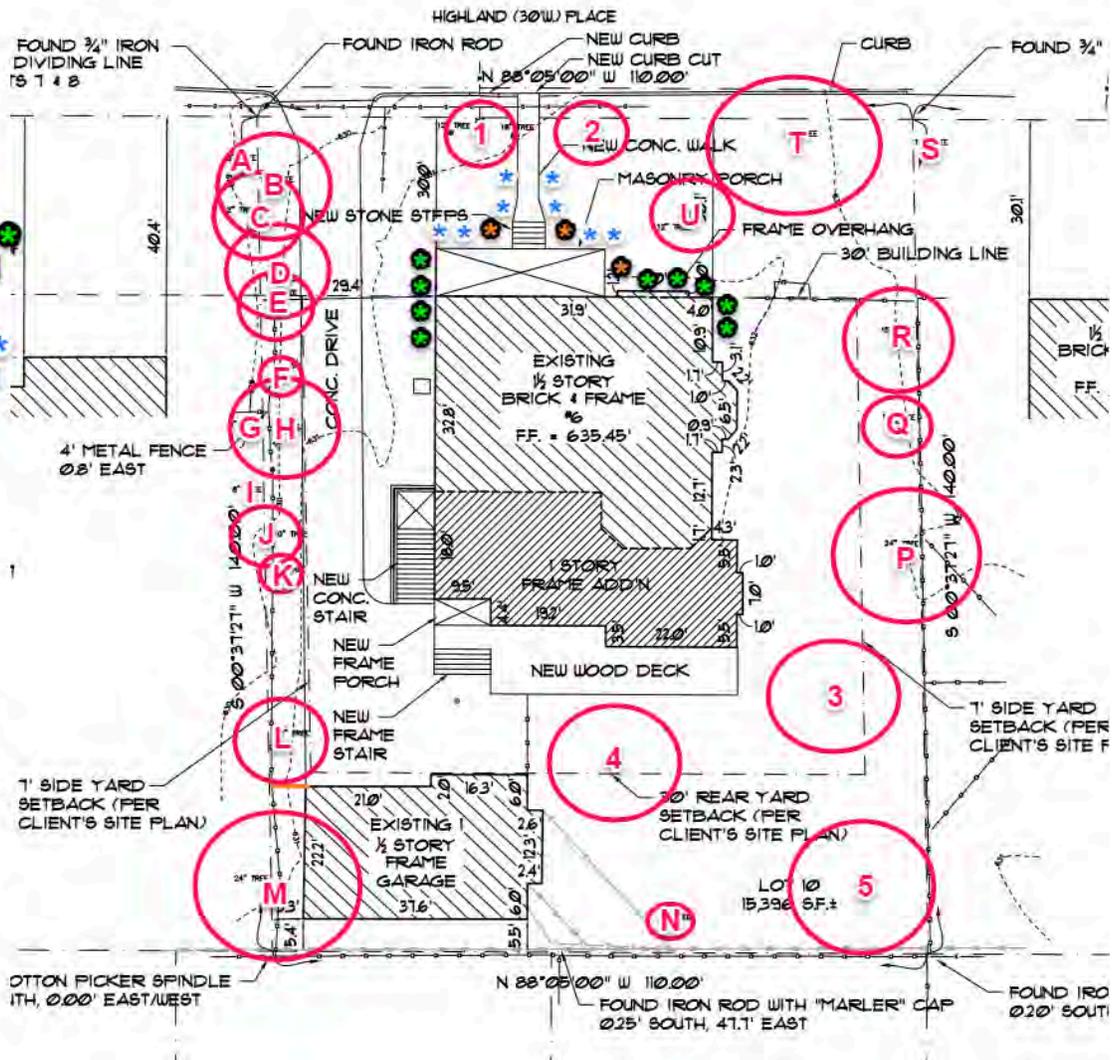


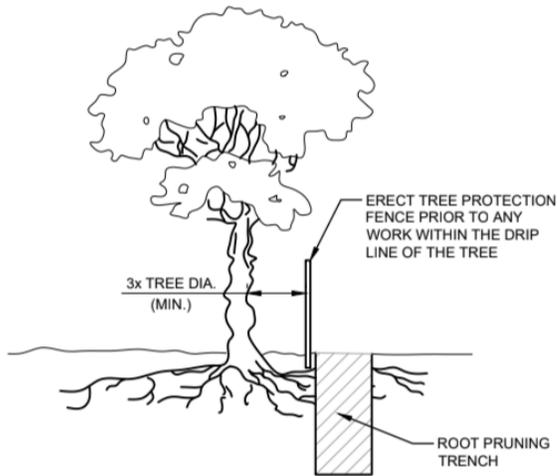
PROPOSED CANOPY

EVERGREEN SHRUB - 5 gal (9)

FLOWERING SHRUB - 5 gal (8)

ORNATE TREE - 2" (3)





NOTES:

1. ROOT PRUNING SHALL BE DONE WHENEVER THERE WILL BE GRADING, CUTTING OR COMPACTION DISTURBANCE UNDERNEATH THE DRIP LINE OF A TREE. PRIOR TO ANY WORK WITHIN DRIP LINE, THE CONTRACTOR SHALL ERECT A TREE PROTECTION FENCE AND CONTACT AN ISA CERTIFIED ARBORIST TO COORDINATE WORK. NO DISTURBANCE SHALL BE DONE WITHIN A DISTANCE OF 3X THE DIAMETER OF THE TREE, DUE TO STABILITY CONCERNS.
2. ROOT PRUNING SHALL BE DONE WITH A SHARP TOOL, IN SUCH A WAY THAT DOES NOT PULL ON THE ROOTS, BUT LEAVES SMOOTH CUTS. DO NOT TEAR ROOTS WITH EXCAVATION EQUIPMENT. IT IS PREFERABLE TO EXPOSE THE ROOTS PRIOR TO ROOT PRUNING. AFTER PRUNING, FILL THE AREA WITH QUALITY TOPSOIL AND WATER UNTIL THOROUGHLY SOAKED.
3. ONCE EXPOSED, ROOTS MUST BE COVERED WITHIN 8 HOURS. IF ROOTS WILL BE LEFT EXPOSED FOR LONGER THAN 8 HOURS, THEY MUST BE KEPT MOIST. ONE OPTION IS TO PUT MOIST BURLAP OVER THE EXPOSED ROOTS.

NOTES (CONT.):

4. ROOT PRUNING SHALL MEET OR EXCEED ANSI A300 OR APPROVED TREE CARE INDUSTRY STANDARDS.

DIGGING PROCESS

1. THE PRUNING TRENCH SHOULD BE CLEARED IN A WAY THAT EXPOSES THE ROOTS WHILE LEAVING THEM INTACT.
 - 1.1. USE HAND TOOLS OR AN AIR KNIFE II) DO NOT USE AN EXCAVATOR, AS THIS WILL PULL ON THE ROOTS AND POSSIBLY DAMAGE THE TRUNK III) IF A ROOT LARGER THAN 2" IS EXPOSED, LEAVE THIS ROOT INTACT AND CONTACT LANDSCAPE SERVICES
2. ONCE THE ROOTS ARE EXPOSED, USE A SHARP TOOL TO CLEANLY CUT ALL ROOTS WHICH ARE BETWEEN 1-2" DIAMETER, TO THE DEPTH OF THE PROPOSED DISTURBANCE
 - 2.1. APPROPRIATE TOOLS INCLUDE SHARP LOPPING SHEARS, HANDSAWS, A SHARPENED AXE, A ROOT PRUNER GRINDER, A RECIPROCATING SAW AND ANY OTHER SHARP TOOL WHICH LEAVES A CLEAN CUT
 - 2.2. YOU MAY NOT USE A CHAINSAW OR CHAIN TRENCHER TO MAKE THE FINAL CUTS
 - 2.3. ALL ROOTS SHALL BE LEFT WITH A CLEAN, SMOOTH ENDS AND NO RAGGED EDGES
3. POST PRUNING
 - 3.1. TREE ROOTS MUST BE KEPT MOIST. IF ROOTS ENDS WILL BE LEFT EXPOSED FOR MORE THAN 8 HOURS, COVER THE HOLE WITH MOIST BURLAP.
 - 3.2. FILL THE HOLE WITH HIGH QUALITY TOP SOIL, MULCH THE AREA WITH TRIPLE SHREDDED HARDWOOD TO A DEPTH OF 3", AND WATER WELL.









